

"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

RECORD APPLICANT:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MA 01581

RECORD OWNERS:
MAP 97 PARCEL 22A
MAINTANIS REALTY TRUST
102 PLEASANT STREET
GRAFTON, MA 01519

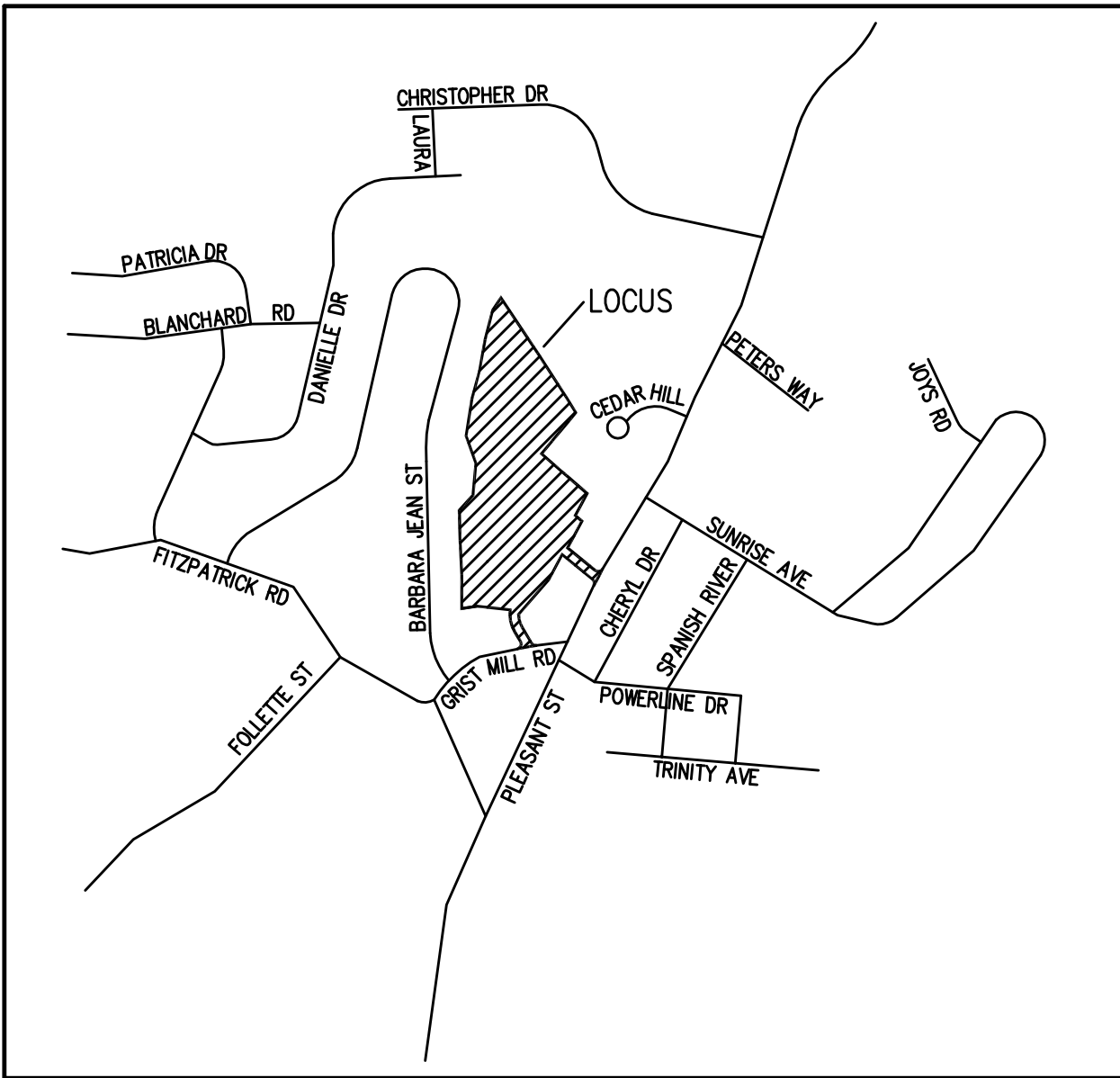
MAP 98 PARCEL 2
WILLIAM J. & MARY J. MAINTANIS
& STEPHEN A. WILSON
102 PLEASANT STREET
GRAFTON, MA 01519

LAND PLANNERS—CIVIL ENGINEERS:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MA 01545

LAND SURVEYORS:
GUERRIERE & HANLON INC.
38 POND STREET, SUITE 206
FRANKLIN, MA 02038

ATLAS LAND SURVEYING INC.
8 MOORE LANE
NORTHBOROUGH, MA 01532

ZONING DISTRICT: LOW DENSITY RESIDENTIAL (R-40)
OVERLAY DISTRICT: WATER SUPPLY PROTECTION



LOCUS MAP
SCALE: 1"=1000'

INDEX	DESCRIPTION		SHEET NUMBER	
	COVER SHEET	1	OF	17
	EXISTING CONDITIONS SURVEY PLANS	2-3	OF	17
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	GRADING AND DRAINAGE PLAN	8	OF	17
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	DETAIL PLANS	16-17	OF	17

SUBDIVISION WAIVERS REQUESTED:

1. FROM 3.1.3.6. STREETS SHALL BE LAID OUT SO AS TO INTERSECT WITH ADJACENT STREETS OR ADJACENT UNSUBDIVIDED LAND AT INTERVALS OF FROM SIX HUNDRED FEET (600') TO TWELVE HUNDRED FEET (1200').

AT THE INTERSECTION OF MILLSTONE DRIVE AND PLEASANT STREET THE OFFSET IS 550 FEET FROM SUNRISE AVENUE TO THE NORTH AND 400 FEET FROM GRIST MILL ROAD TO THE SOUTH.

2. FROM 4.1.6.3. HOWEVER, IF THEY ARE NECESSARY FOR SUBDIVISIONS WITH MINOR STREETS OR COMMON DRIVEWAYS, DEAD END STREETS AND THEIR EXTENSIONS OR SEGMENTS, IF ANY, SHALL NOT BE SHORTER THAN ONE HUNDRED FIFTY FEET (150'), NOR LONGER THAN FIVE HUNDRED FEET (500').

THE ROADWAY LENGTH FROM THE CENTER OF BOTH CUL-DE-SACS TO THE INTERSECTION OF MILLSTONE DRIVE WITH PLEASANT STREET IS FIVE HUNDRED NINETY NINE FEET (599').

3. FROM 4.2.1.2. UNLESS OTHERWISE SPECIFIED BY THE PLANNING BOARD, GRANITE CURBS OF THE DIMENSION GIVEN FOR GRANITE CURBS (SECTION M.9.04.1) TYPE VA4 SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS ALONG ALL OTHER STREETS:

a) AT INTERSECTIONS ALONG THE PAVING EDGE THE DISTANCE OF ARCS OF THE CURBS PLUS A STRAIGHT EDGE SECTION OF EIGHT FEET (8') AT EDGE OF SAID ARCS.

b) ALONG EACH EDGE OF ROADWAY WHERE THE GRADE EXCEEDS TWO PERCENT (2%).

c) ALONG EACH EDGE OF ROADWAY WHERE WITH A RADIUS OF LESS THAN TWO HUNDRED FIFTY FEET (250')

SLOPED GRANITE CURB BERM HAS BEEN PROVIDED ALONG THE EDGES ALONG ALL ROADWAYS EXCEPT AT THE INTERSECTION OF PLEASANT STREET AND MILLSTONE DRIVE AND THE INTERSECTION OF BOTH SECTIONS OF MILLSTONE DRIVE, WHERE VERTICAL GRANITE CURB IS PROVIDED.

4. FROM 5.3.2. SEWERS SHALL BE INSTALLED IN THE CENTER OF THE STREET AS NEARLY AS PRACTICAL AT A MINIMUM DEPTH OF SEVEN FEET SIX INCHES (7' 6") OF COVER IN THE TRAVELLED WAY.

THE MINIMUM COVER OF THE SEWER AT THE INTERSECTION OF PLEASANT STREET AND MILLSTONE DRIVE IS FIVE FEET TWO INCHES (5' 2").

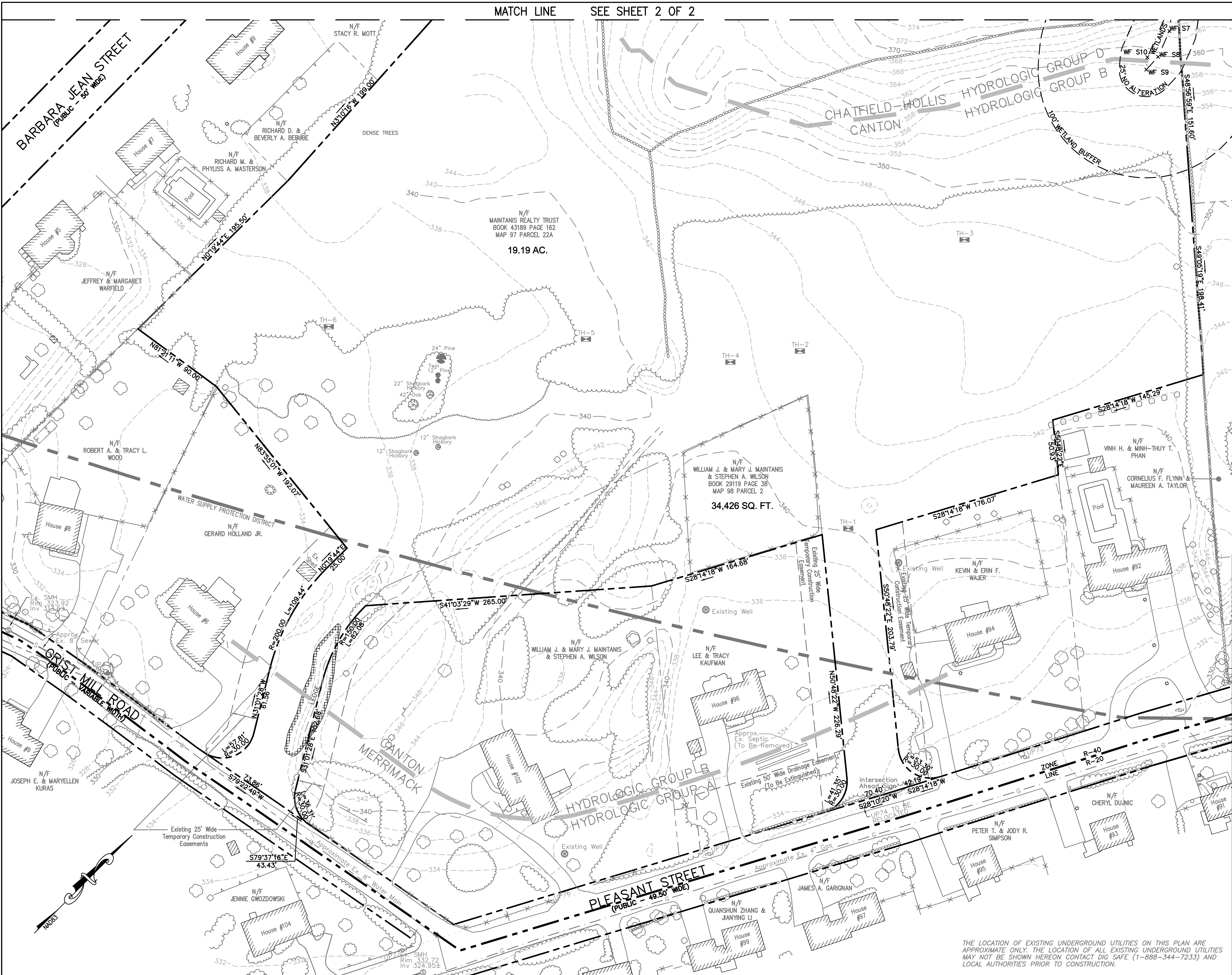
5. FROM 5.4.2.2. AT LEAST FOUR FEET (4') OF COVER WILL BE REQUIRED OVER DRAIN PIPES. WHERE SPECIAL CONDITIONS OF TOPOGRAPHY AND/OR HYDROLOGY ARE DEEMED TO JUSTIFY THE BOARD'S APPROVAL OF PIPE WITH LESS THAN FOUR FEET (4') OF COVER THE BOARD MAY REQUIRE OTHER MATERIALS OR METHODS OF CONSTRUCTION TO MEET SUCH CONDITIONS.

THE MINIMUM COVER OVER THE DRAIN PIPES ON MILLSTONE DRIVE AT THE INTERSECTION WITH PLEASANT STREET IS TWO FEET TWO INCHES (2' 2").

6. FROM SCHEDULE A & B - CROSS SECTIONS AND DETAILS: STANDARD CROSS SECTION. REQUIREMENT OF FIVE FEET (5') COVER OVER WATER PIPES.

THE MINIMUM COVER OVER THE WATER PIPE ON PLEASANT STREET AT THE INTERSECTION WITH MILLSTONE DRIVE IS THREE FEET (3').

2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION
SCALE: AS SHOWN		DATE: MARCH 13, 2015
COVER SHEET		
SHEET NO.: 1 OF 17		PROJECT NO.: G-353



MATCH LINE SEE SHEET 2 OF 2

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING SEWER LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	EXISTING TREE LINE
	ZONE LINE

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE:

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

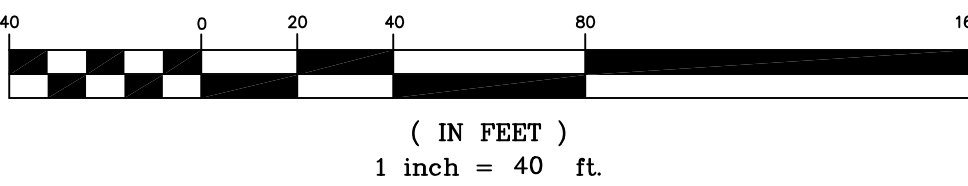
TOWN CLERK DATE
SEE PLAN 1 OF 17 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVEYMENT DATED _____, RECORDED AT WORCESTER DISTRICT
REGISTRY OF DEEDS, BOOK _____, PAGE _____, INSTRUMENT # _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL
DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD
ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF
DEEDS BOOK 54313, PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HERewith.

GRAPHIC SCALE



REV. NO.	DATE	REVISION
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

EXISTING CONDITIONS PLAN 1/2

SHEET NO.: SHEET 2 OF 17 PROJECT NO.: G-353

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ON THIS PLAN ARE APPROXIMATE ONLY. THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES MAY NOT BE SHOWN HEREON CONTACT DIG SAFE (1-888-344-7233) AND LOCAL AUTHORITIES PRIOR TO CONSTRUCTION.

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

DATE

RESERVED FOR REGISTRY OF DEEDS USE ONLY

NOTES

OWNERS DEEDS RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK 43189, PAGE 162 BOOK 53114, PAGE 322

PLAN REFERENCE WORCESTER DISTRICT REGISTRY OF DEEDS PLAN BOOK 447, PLAN 10, PLAN BOOK 684, PLAN 31 PLAN BOOK 697, PLAN 55, PLAN BOOK 745, PLAN 115 PLAN BOOK 755, PLAN 104, PLAN BOOK 766, PLAN 72 LAND COURT PLAN #28768

ASSESSORS MAP 97, PARCEL 22A & PORTION OF ASSESSORS MAP 98, PARCEL 22

ZONING DISTRICT: R40

GRANITE MONUMENTS SHALL BE INSTALLED AT ALL STREET INTERSECTIONS, AT ALL POINTS OF CHANGE IN DIRECTION OR CURVATURE OF STREETS AND AT ALL ANGLE POINTS OF ALL EASEMENTS.

GRANITE MONUMENTS (TO BE INSTALLED)

CERTIFICATE OF NO APPEAL

DECISION OF THE GRAFTON PLANNING BOARD APPROVING THIS PLAN RECORDED IN OFFICE OF TOWN CLERK 20

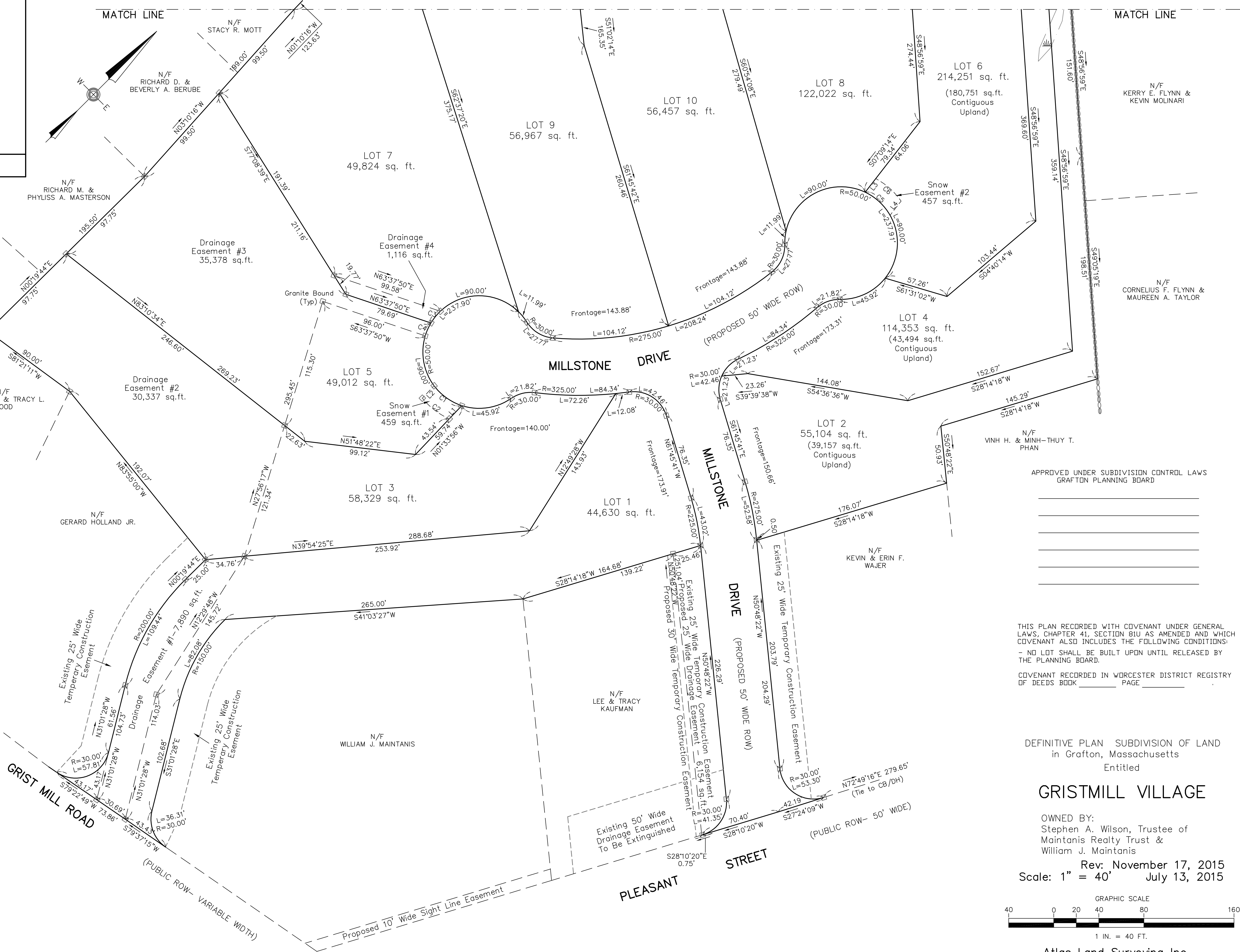
NO NOTICE OF APPEAL THEREFROM RECEIVED BY TOWN CLERK DURING THE 20 DAYS FOLLOWING.

TOWN CLERK

DATE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N01°33'56"W	16.20'
L2	S01°33'56"E	15.17'
L3	N07°09'14"W	15.28'
L4	S07°09'14"E	15.93'

CURVE TABLE		
CURVE	RADIUS	LENGTH
C1	50.00	30.77'
C2	65.00	30.44'
C3	50.00	13.35'
C4	50.00	12.59'
C5	50.00	30.59'
C6	65.00	30.34'



APPROVED UNDER SUBDIVISION CONTROL LAWS GRAFTON PLANNING BOARD

THIS PLAN RECORDED WITH COVENANT UNDER GENERAL LAWS, CHAPTER 41, SECTION 81U AS AMENDED AND WHICH COVENANT ALSO INCLUDES THE FOLLOWING CONDITIONS:
- NO LOT SHALL BE BUILT UPON UNTIL RELEASED BY THE PLANNING BOARD.

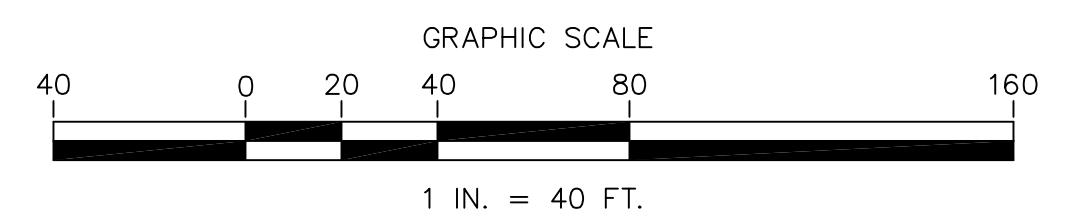
COVENANT RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK PAGE

DEFINITIVE PLAN SUBDIVISION OF LAND in Grafton, Massachusetts
Entitled

GRISTMILL VILLAGE

OWNED BY:
Stephen A. Wilson, Trustee of
Maintanis Realty Trust &
William J. Maintanis

Rev: November 17, 2015
Scale: 1" = 40' July 13, 2015



Atlas Land Surveying Inc.
Northborough, Massachusetts

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS

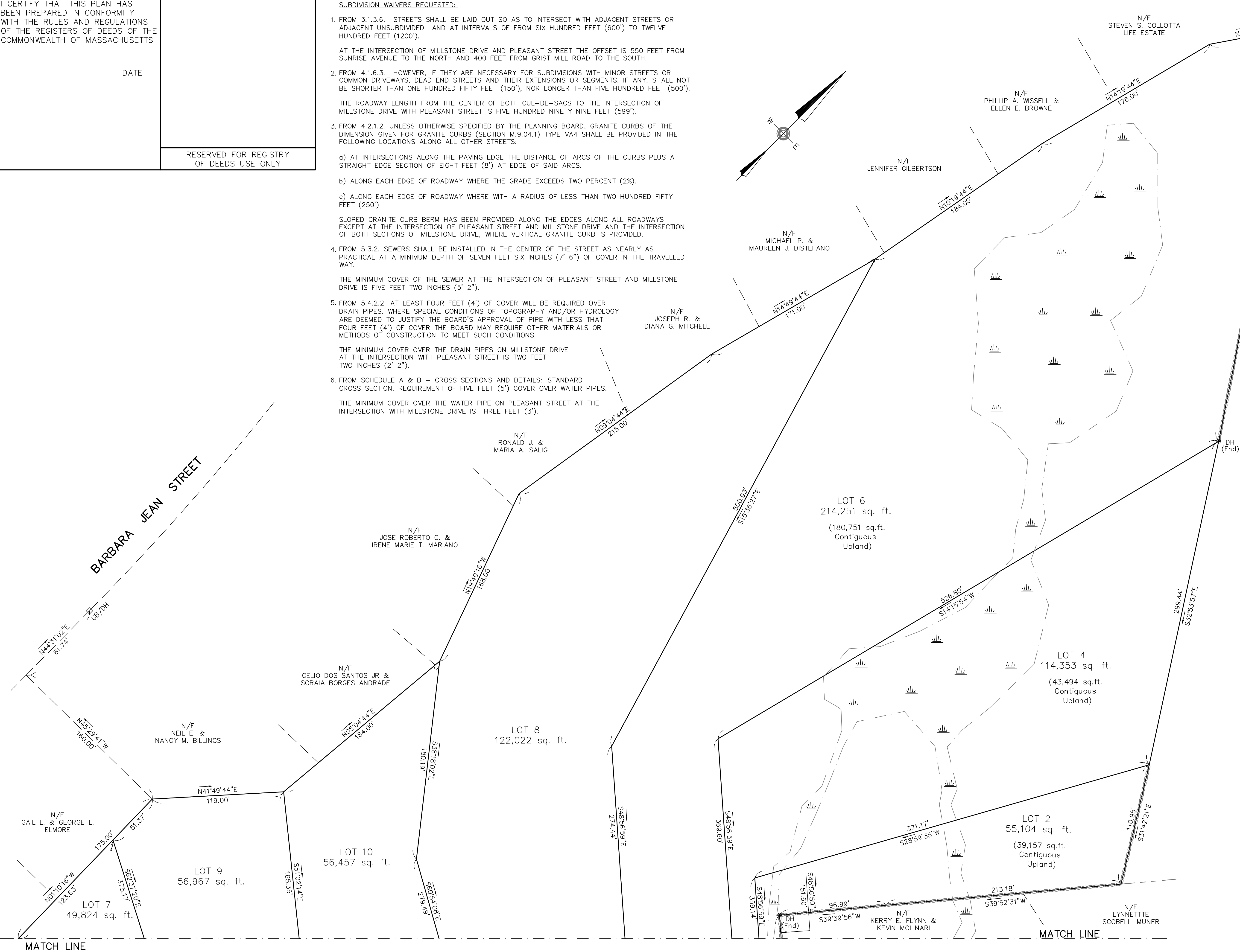
DATE

RESERVED FOR REGISTRY OF DEEDS USE ONLY

SUBDIVISION WAIVERS REQUESTED:

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 - ALONG EACH EDGE OF ROADWAY WHERE WITH A RADIUS OF LESS THAN TWO HUNDRED FIFTY FEET (250')SLOPED GRANITE CURB BERM HAS BEEN PROVIDED ALONG THE EDGES ALONG ALL ROADWAYS EXCEPT AT THE INTERSECTION OF PLEASANT STREET AND MILLSTONE DRIVE AND THE INTERSECTION OF BOTH SECTIONS OF MILLSTONE DRIVE, WHERE VERTICAL GRANITE CURB IS PROVIDED.

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APPROVED UNDER SUBDIVISION CONTROL LAWS
GRAFTON PLANNING BOARD

CERTIFICATE OF NO APPEAL

DECISION OF THE GRAFTON PLANNING BOARD
APPROVING THIS PLAN RECORDED IN OFFICE
OF TOWN CLERK _____, 20__

NO NOTICE OF APPEAL THEREFROM RECEIVED
BY TOWN CLERK DURING THE 20 DAYS FOLLOWING.

TOWN CLERK _____ DATE _____

THIS PLAN RECORDED WITH COVENANT UNDER GENERAL LAWS, CHAPTER 41, SECTION 81U AS AMENDED AND WHICH COVENANT ALSO INCLUDES THE FOLLOWING CONDITIONS:
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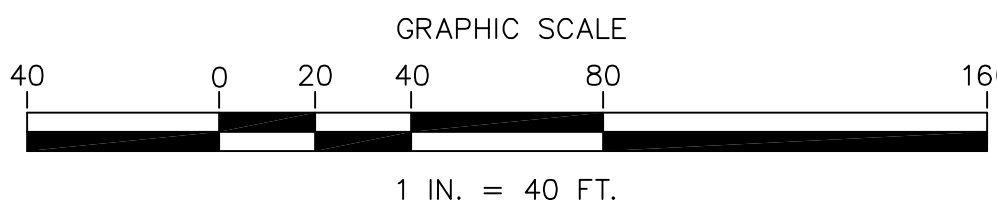
COVENANT RECORDED IN WORCESTER DISTRICT REGISTRY OF DEEDS BOOK _____ PAGE _____

DEFINITIVE PLAN SUBDIVISION OF LAND
in Grafton, Massachusetts
Entitled

GRISTMILL VILLAGE

OWNED BY:
Stephen A. Wilson, Trustee of
Maintanis Realty Trust &
William J. Maintanis

Rev: November 17, 2015
Scale: 1" = 40' July 13, 2015



Atlas Land Surveying Inc.
Northborough, Massachusetts



LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	ZONE LINE
	PROPOSED GRANITE BOUND

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE: _____
I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY
THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON
PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE
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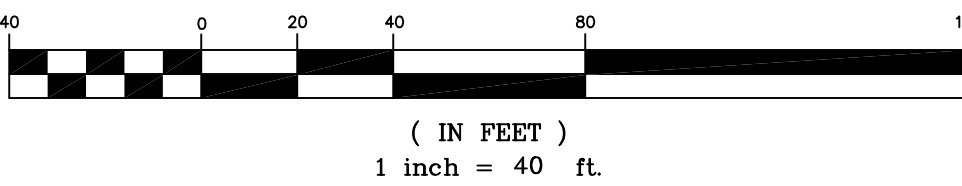
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SUBJECT TO CONVEYANT DATED _____, RECORDED AT WORCESTER DISTRICT
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ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF
DEEDS BOOK 54313, PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HERewith.

GRAPHIC SCALE



REV. NO.	DATE	REVISION
2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS

TITLE:
**"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519**

PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

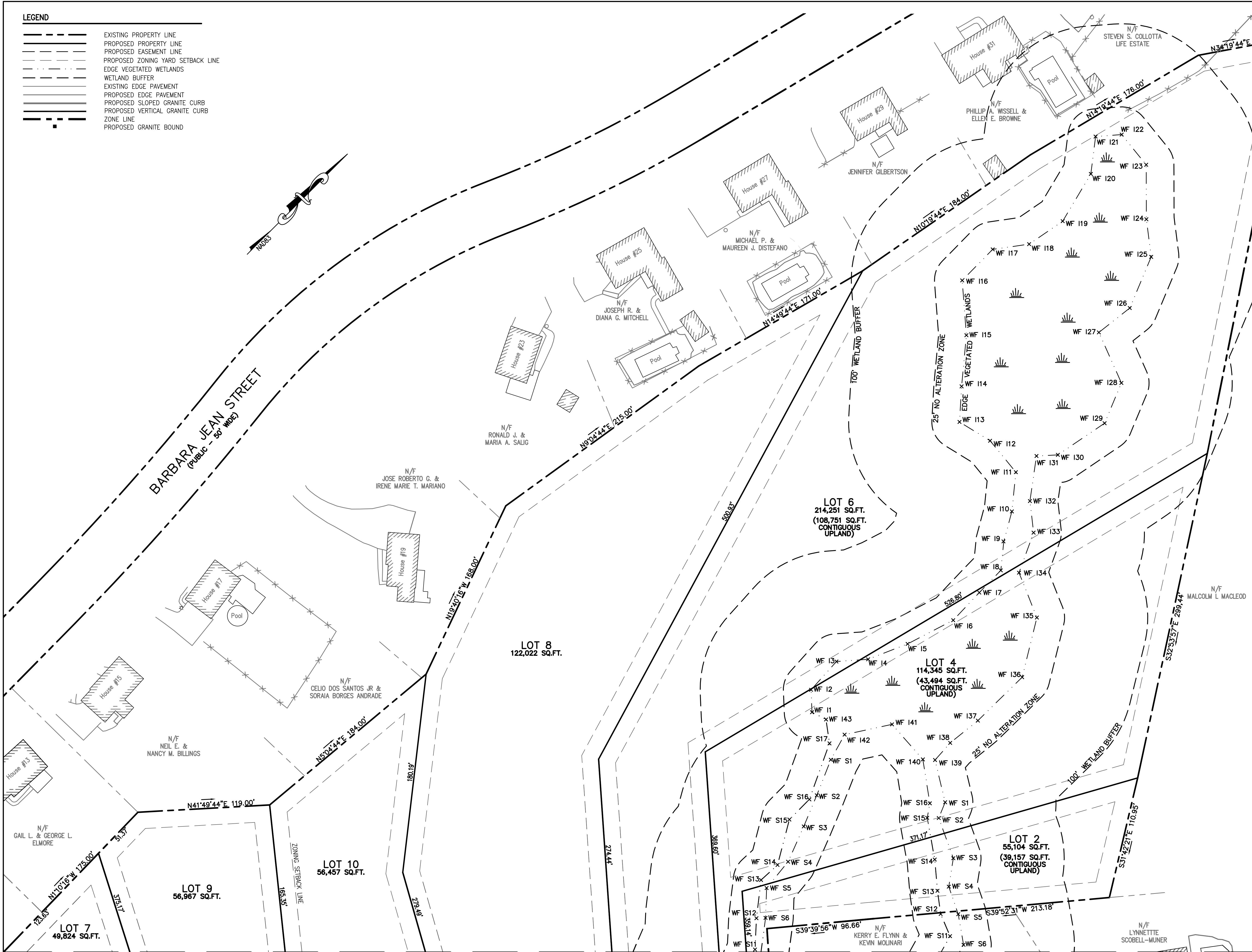
SCALE: **1" = 40'** DATE: **MARCH 13, 2015**

LAYOUT AND MATERIALS PLAN 1/2

SHEET NO.: **SHEET 6 OF 17** PROJECT NO.: **G-353**

ZONING REQUIREMENTS:
LOW DENSITY RESIDENTIAL (R-40)
MINIMUM LOT SIZE: 40,000 SQ.FT.
FRONTAGE: 140' (90' ON CUL-DE-SAC)
LOT WIDTH: 140'
FRONT YARD SETBACK: 30'
SIDE YARD SETBACK: 15'
REAR YARD SETBACK: 15'

- LEGEND
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED ZONING YARD SETBACK LINE
 - EDGE VEGETATED WETLANDS
 - WETLAND BUFFER
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VERTICAL GRANITE CURB
 - ZONE LINE
 - PROPOSED GRANITE BOUND



GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE:

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TOWN CLERK

DATE

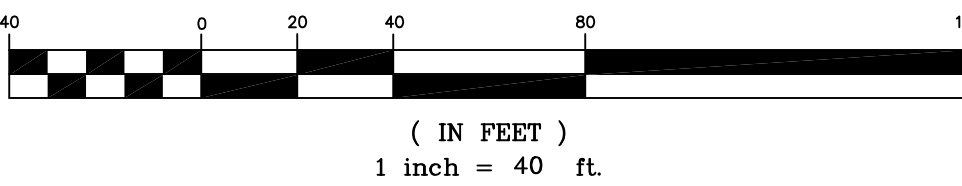
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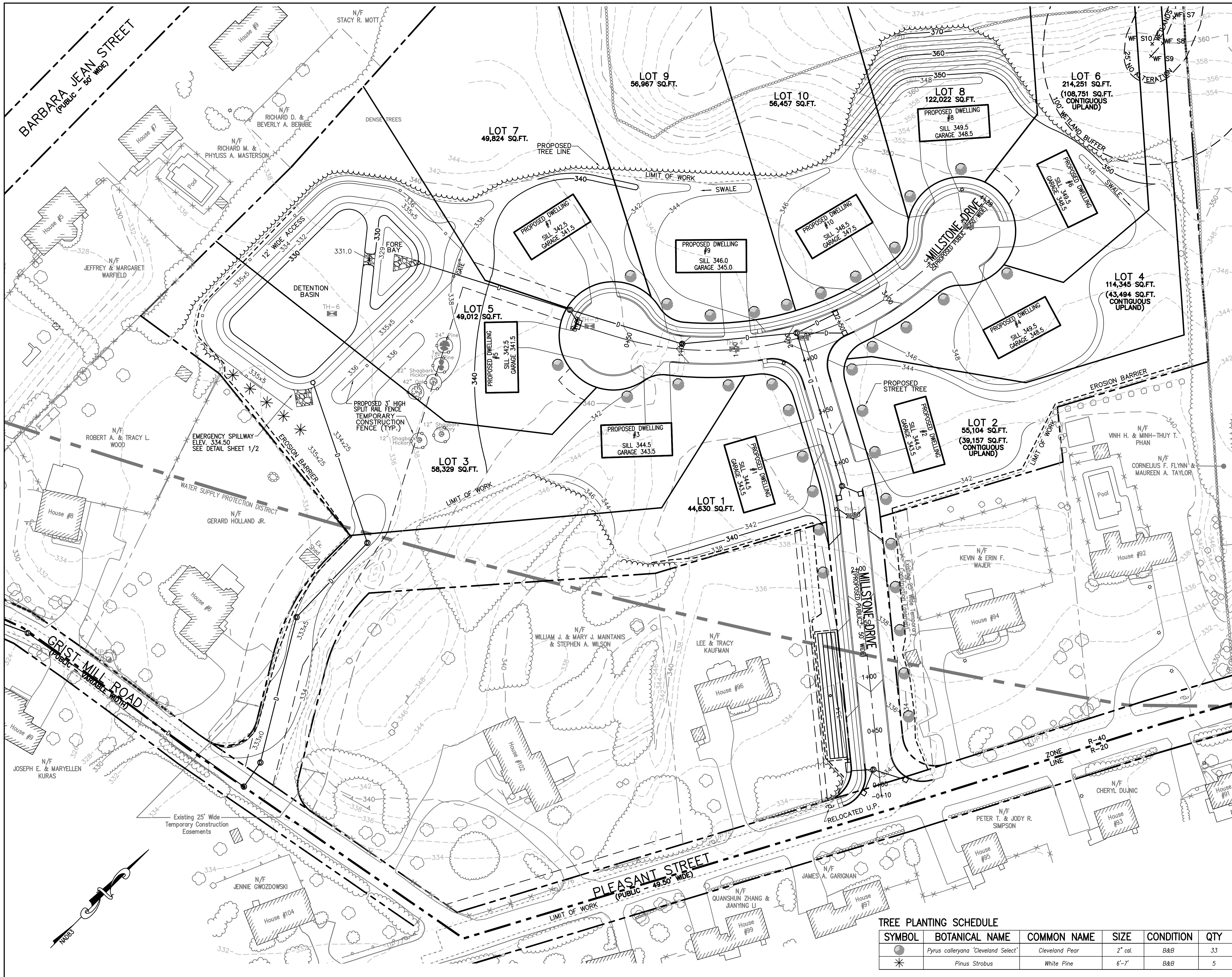
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TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

LAYOUT AND MATERIALS PLAN 2/2

SHEET NO.: SHEET 7 OF 17 PROJECT NO.: G-353



- LEGEND
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED ZONING YARD SETBACK LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED ELECTRIC, TELEPHONE, CABLE
 - PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING GAS LINE
 - PROPOSED GAS LINE
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EDGE VEGETATED WETLANDS
 - WETLAND BUFFER
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VERTICAL GRANITE CURB
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - ZONE LINE
 - EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE:

I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

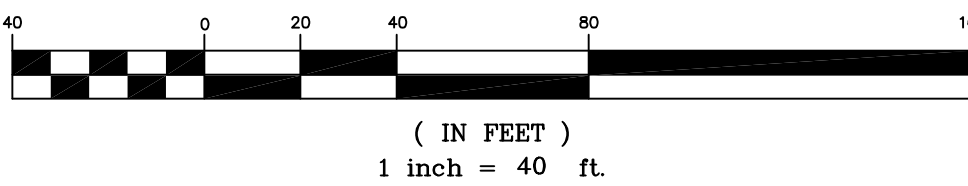
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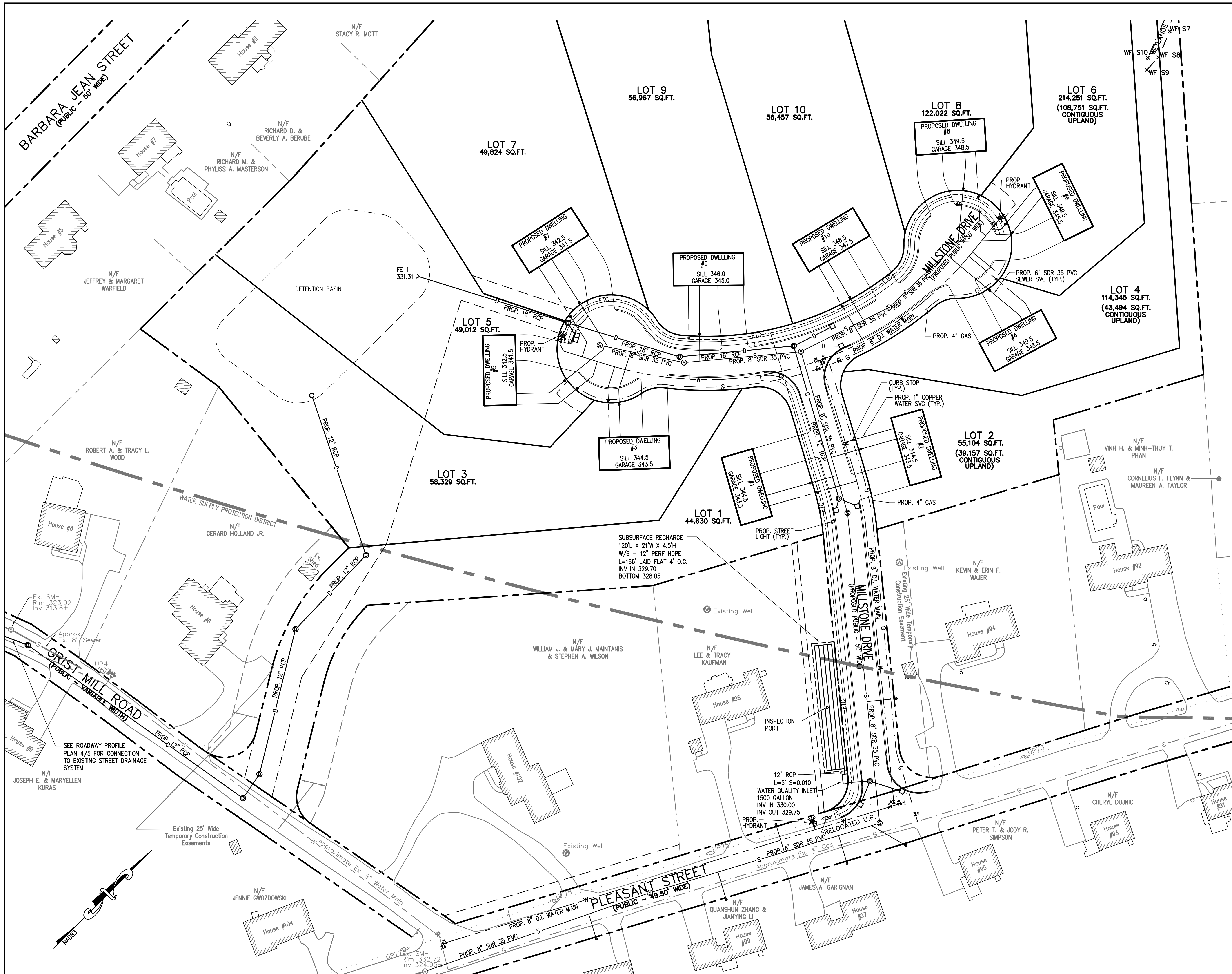
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: 1" = 40' DATE: MARCH 13, 2015

SHEET NO.: SHEET 8 OF 17 PROJECT NO.: G-353

TREE PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	QTY
●	<i>Pyrus calleryana</i> 'Cleveland Select'	Cleveland Pear	2" cal.	B&B	33
✱	<i>Pinus Strobus</i>	White Pine	6'-7'	B&B	5



- LEGEND**
- EXISTING PROPERTY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED ZONING YARD SETBACK LINE
 - EXISTING CONTOUR - HIGH
 - EXISTING CONTOUR - LOW
 - PROPOSED CONTOUR - HIGH
 - PROPOSED CONTOUR - LOW
 - EXISTING UTILITY POLE
 - EXISTING OVERHEAD WIRES
 - PROPOSED ELECTRIC, TELEPHONE, CABLE
 - PROPOSED DRAIN LINE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING GAS LINE
 - PROPOSED GAS LINE
 - EXISTING SEWER LINE
 - PROPOSED SEWER LINE
 - EDGE VEGETATED WETLANDS
 - WETLAND BUFFER
 - EXISTING EDGE PAVEMENT
 - PROPOSED EDGE PAVEMENT
 - PROPOSED SLOPED GRANITE CURB
 - PROPOSED VERTICAL GRANITE CURB
 - EXISTING TREE LINE
 - PROPOSED TREE LINE
 - ZONE LINE
 - EROSION BARRIER

GRAFTON PLANNING BOARD

APPROVAL UNDER
THE SUBDIVISION
CONTROL LAW IS REQUIRED

DATE:

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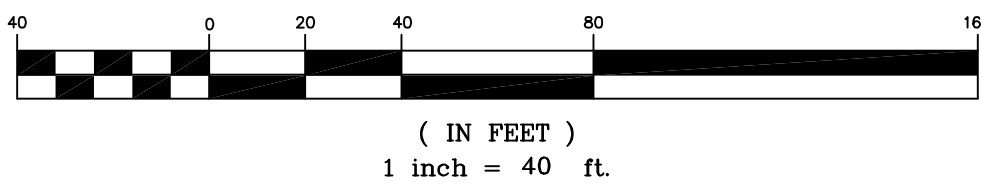
TOWN CLERK _____ DATE _____
SEE PLAN 1 OF 17 FOR PLANNING BOARD CONDITIONS OF APPROVAL.

SUBJECT TO CONVENANT DATED _____, RECORDED AT WORCESTER DISTRICT
REGISTRY OF DEEDS, BOOK _____, PAGE _____, INSTRUMENT # _____

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DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.

GRAPHIC SCALE



2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION

TITLE:

"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

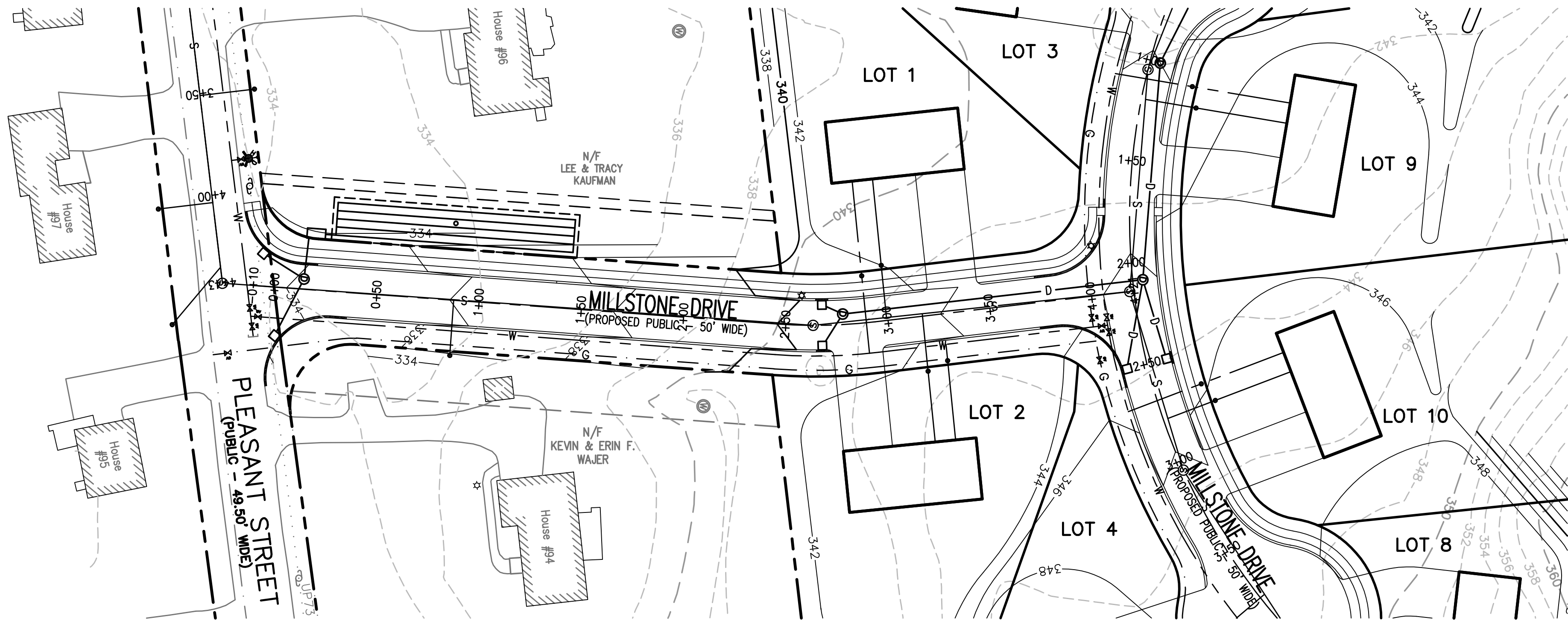
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

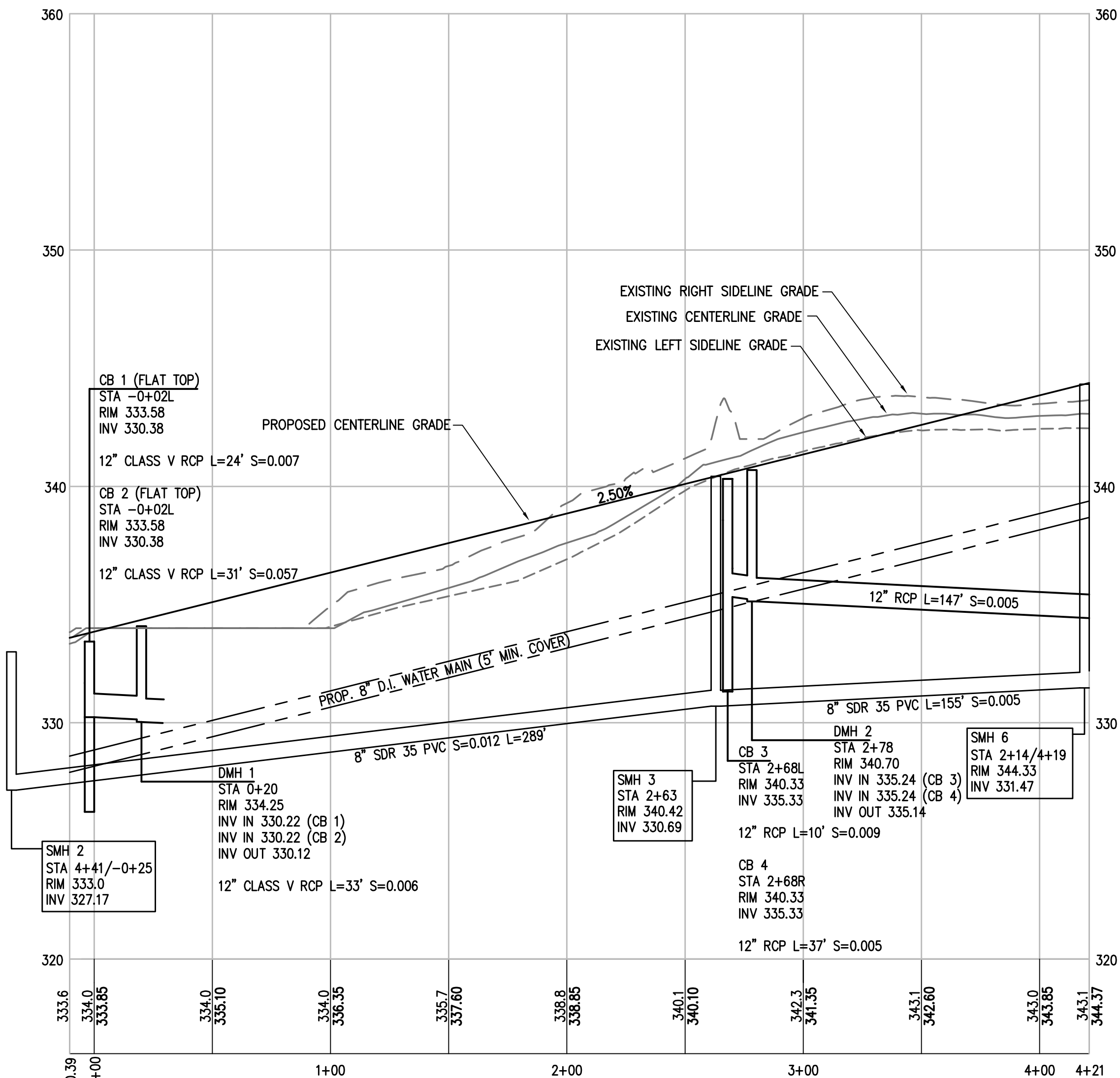
SCALE: 1" = 40' **DATE:** MARCH 13, 2015

UTILITY PLAN

SHEET NO.: SHEET 9 OF 17 **PROJECT NO.:** G-353



MILLSTONE DRIVE PLAN – PLEASANT STREET TO STA 4+21
SCALE: 1"=40'



MILLSTONE DRIVE PROFILE – PLEASANT STREET TO STA 4+21
SCALE: HORIZONTAL – 1"=40'
VERTICAL – 1"=4'

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR – HIGH
---	EXISTING CONTOUR – LOW
---	PROPOSED CONTOUR – HIGH
---	PROPOSED CONTOUR – LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	PROPOSED ELECTRIC, TELEPHONE, CABLE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

GRAFTON PLANNING BOARD

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TOWN CLERK

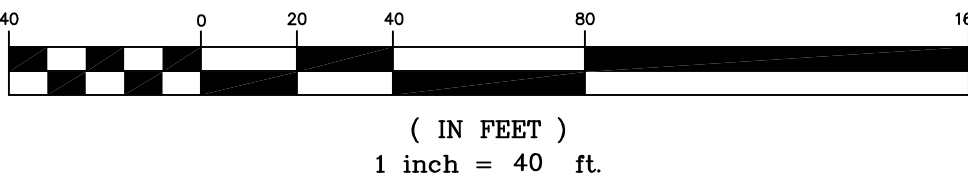
DATE

SUBJECT TO CONVEYANCE DATED _____, RECORDED AT WORCESTER DISTRICT
REGISTRY OF DEEDS, BOOK _____, PAGE _____, INSTRUMENT # _____

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GRAFTON, MASSACHUSETTS 01519

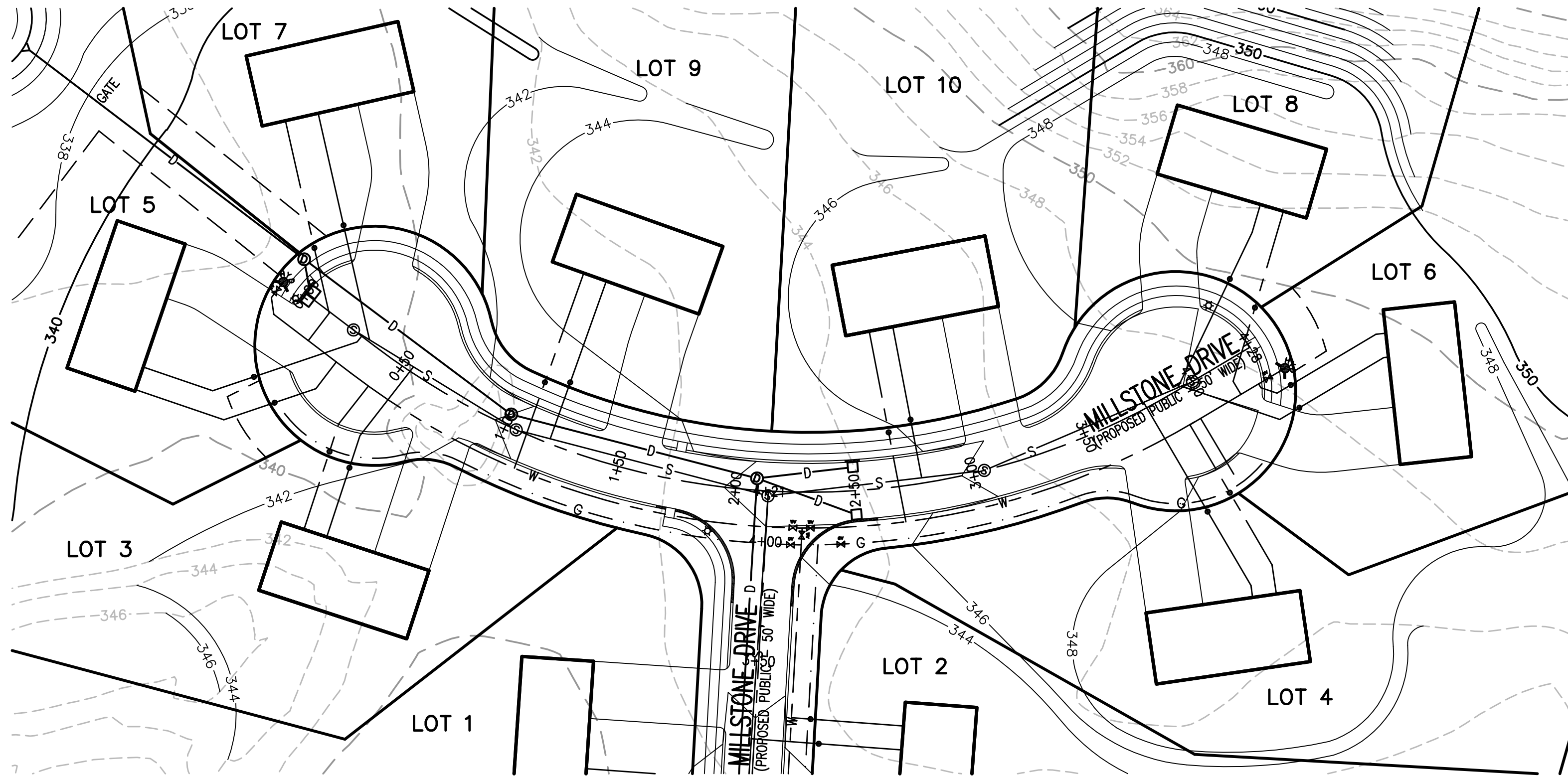
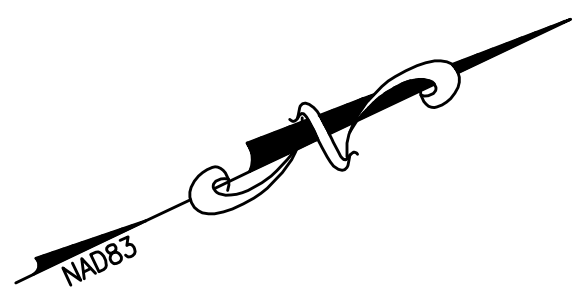
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
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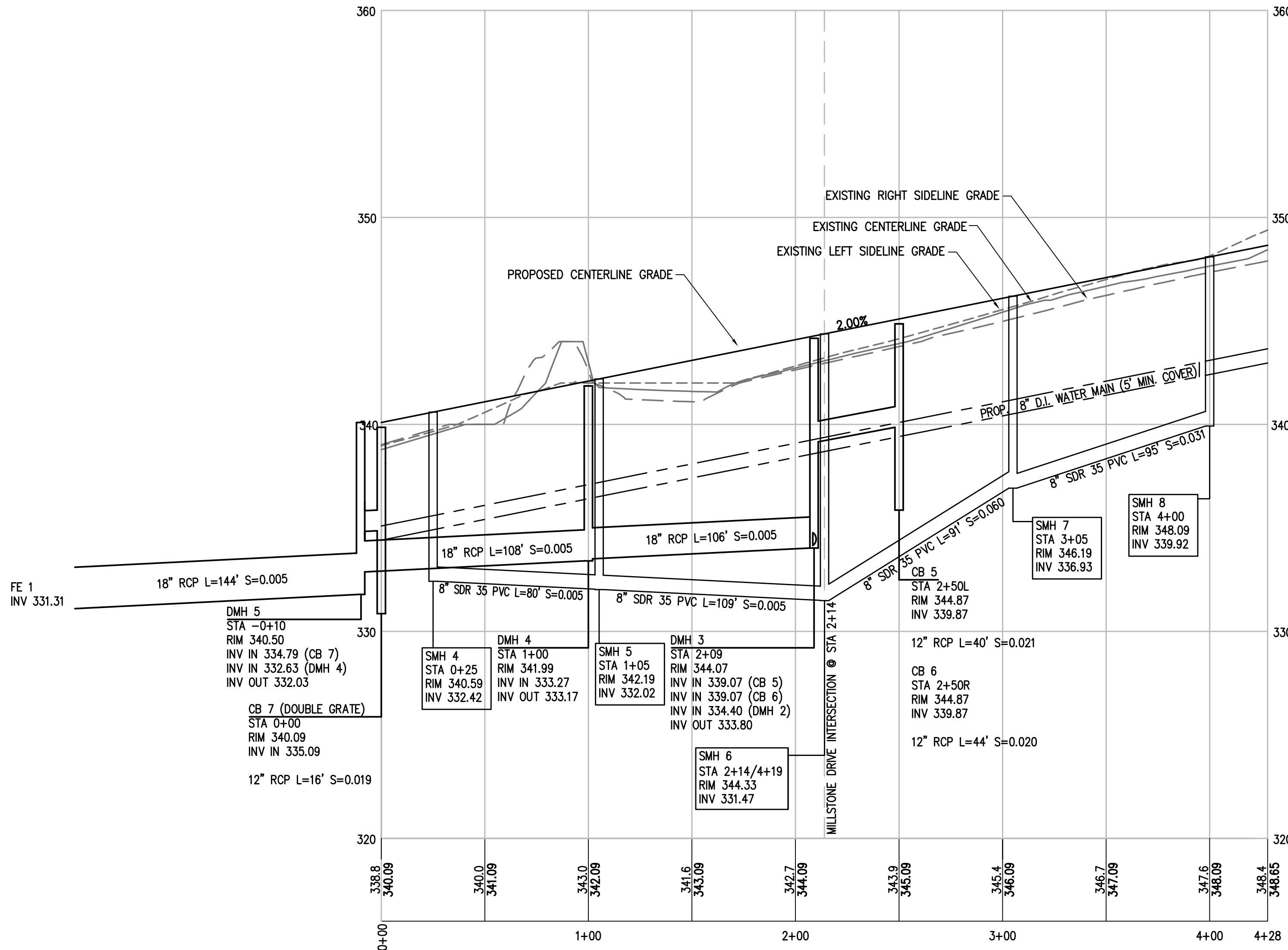
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 1/5

SHEET NO.: SHEET 10 OF 17 PROJECT NO.: G-353



MILLSTONE DRIVE PLAN – NORTH CUL-DE-SAC TO SOUTH CUL-DE-SAC
SCALE: 1"=40'



MILLSTONE DRIVE PROFILE – NORTH CUL-DE-SAC TO SOUTH CUL-DE-SAC
SCALE: HORIZONTAL – 1"=40'
VERTICAL – 1"=4'

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE
---	PROPOSED EASEMENT LINE
---	PROPOSED ZONING YARD SETBACK LINE
---	EXISTING CONTOUR – HIGH
---	EXISTING CONTOUR – LOW
---	PROPOSED CONTOUR – HIGH
---	PROPOSED CONTOUR – LOW
---	EXISTING UTILITY POLE
---	EXISTING OVERHEAD WIRES
---	PROPOSED ELECTRIC, TELEPHONE, CABLE
---	PROPOSED DRAIN LINE
---	EXISTING WATER LINE
---	PROPOSED WATER LINE
---	EXISTING GAS LINE
---	PROPOSED GAS LINE
---	EXISTING SEWER LINE
---	PROPOSED SEWER LINE
---	EDGE VEGETATED WETLANDS
---	WETLAND BUFFER
---	EXISTING EDGE PAVEMENT
---	PROPOSED EDGE PAVEMENT
---	PROPOSED SLOPED GRANITE CURB
---	PROPOSED VERTICAL GRANITE CURB
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	ZONE LINE
---	EROSION BARRIER

GRAFTON PLANNING BOARD

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DATE

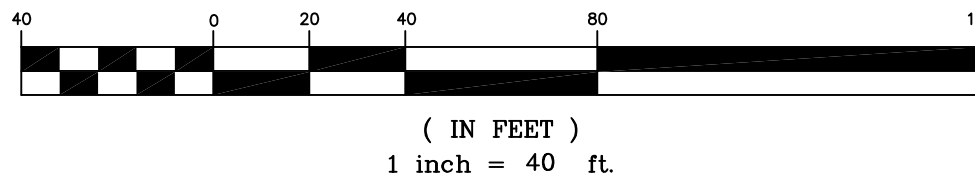
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DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

PREPARED FOR:
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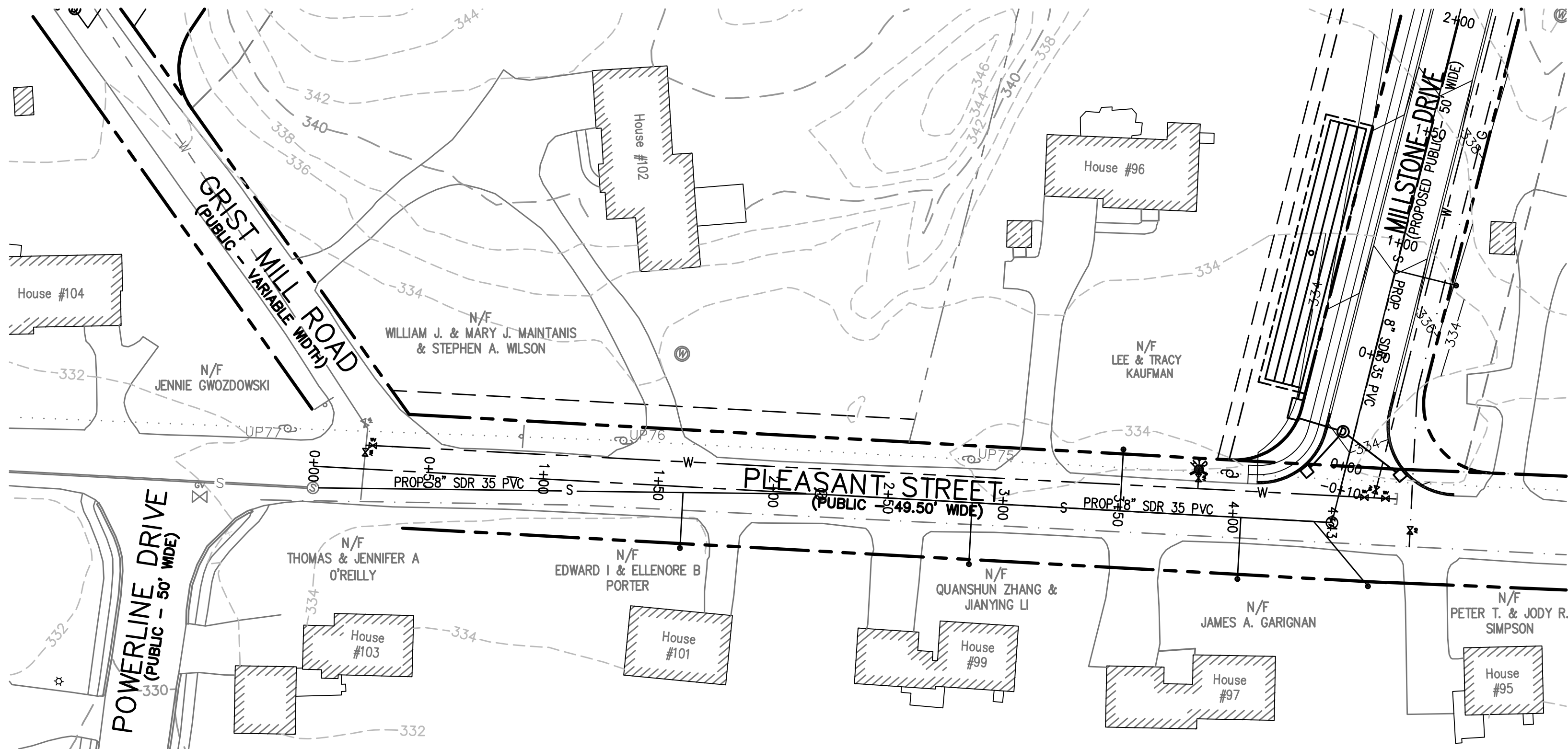
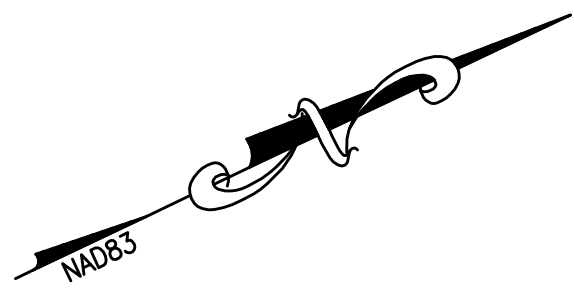
SCALE:
1" = 40'

DATE:
MARCH 13, 2015

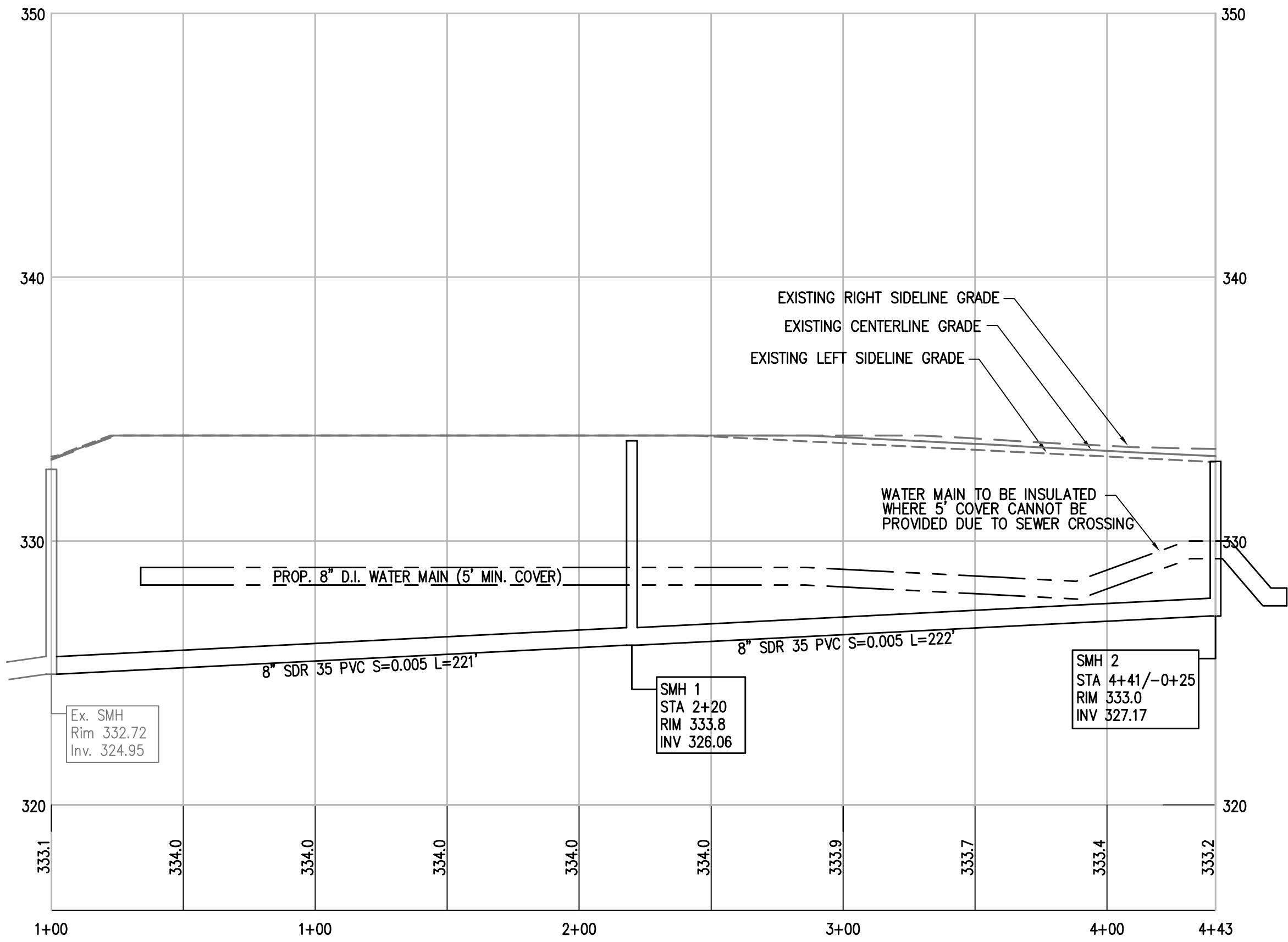
ROADWAY PROFILE PLAN 2/5

SHEET NO.:
SHEET 11 OF 17

PROJECT NO.:
G-353



PLEASANT STREET PLAN
SCALE: 1"=40'



PLEASANT STREET PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED ELECTRIC, TELEPHONE, CABLE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	EXISTING TREE LINE
	PROPOSED TREE LINE
	ZONE LINE
	EROSION BARRIER

GRAFTON PLANNING BOARD

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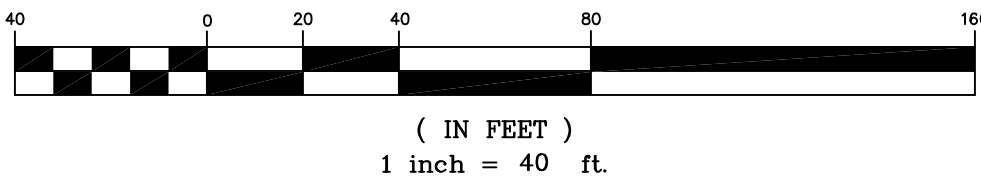
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TITLE:
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DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519**

PREPARED FOR:
**CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581**

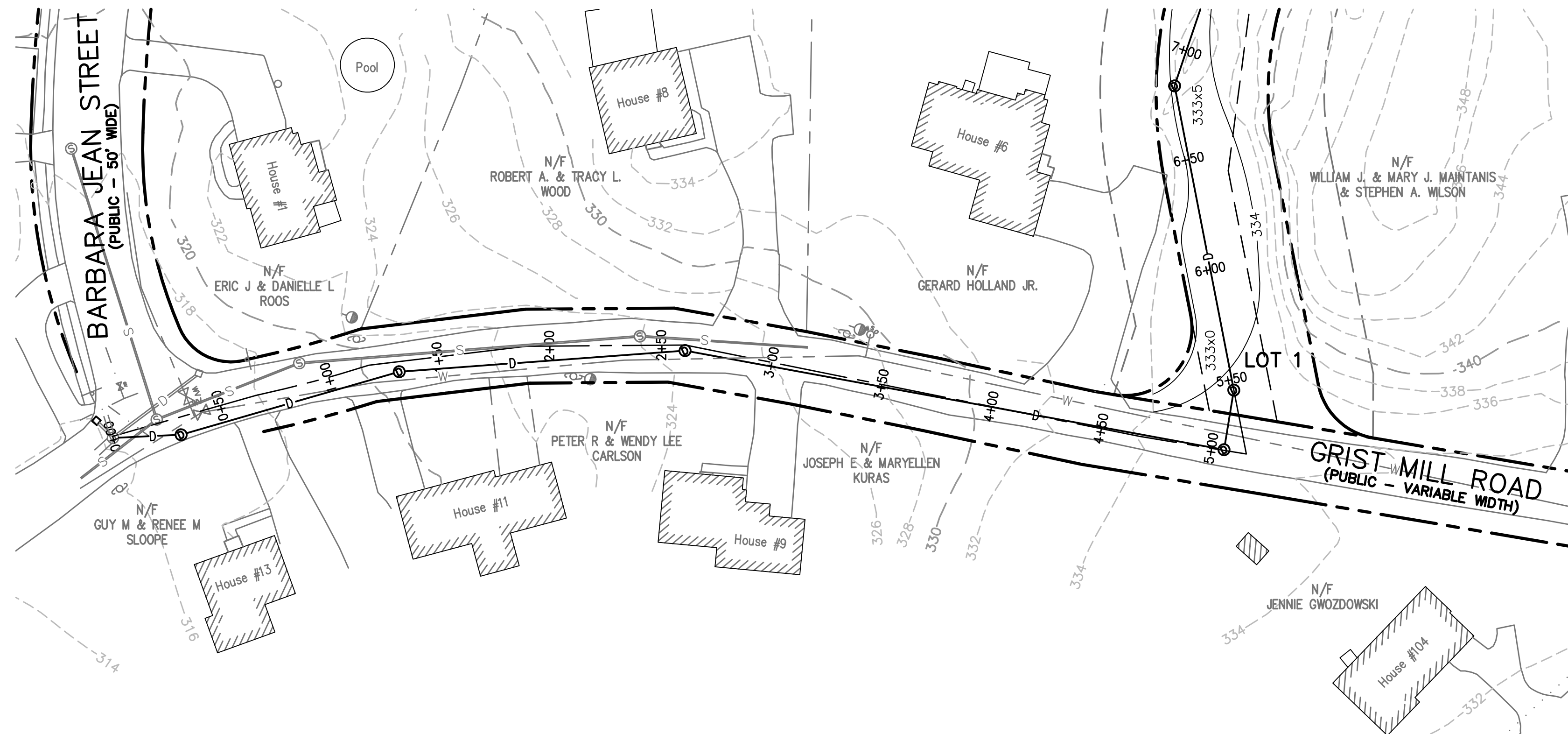
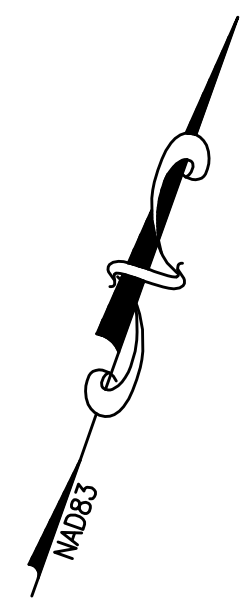
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TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

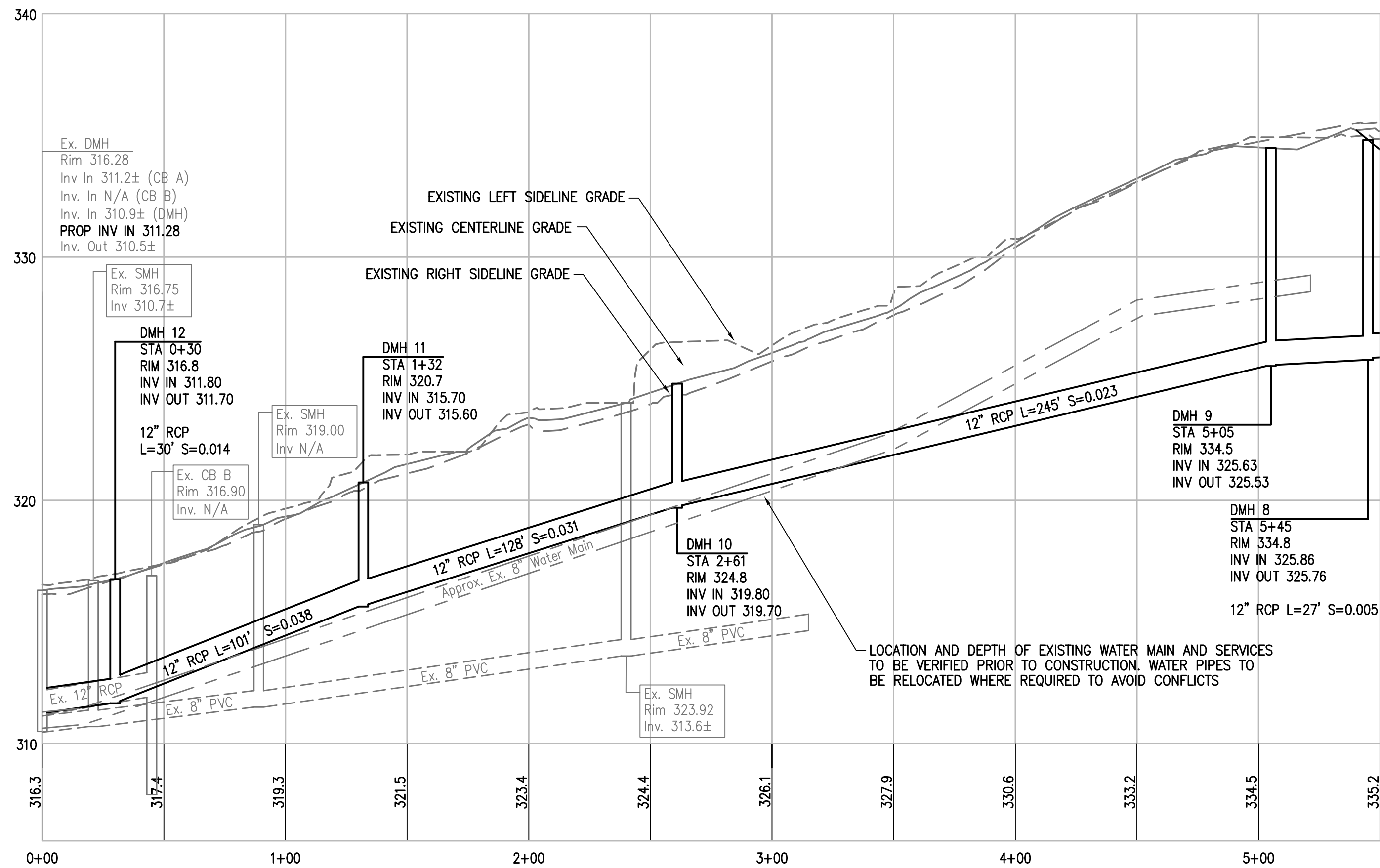
SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 3/5

SHEET NO.: SHEET 12 OF 17 PROJECT NO.: G-353



GRIST MILL ROAD PLAN
SCALE: 1"=40'



GRIST MILL ROAD PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED ELECTRIC, TELEPHONE, CABLE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
	EDGE VEGETATED WETLANDS
	WETLAND BUFFER
	EXISTING EDGE PAVEMENT
	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	EXISTING TREE LINE
	PROPOSED TREE LINE
	ZONE LINE
	EROSION BARRIER

GRAFTON PLANNING BOARD

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DATE

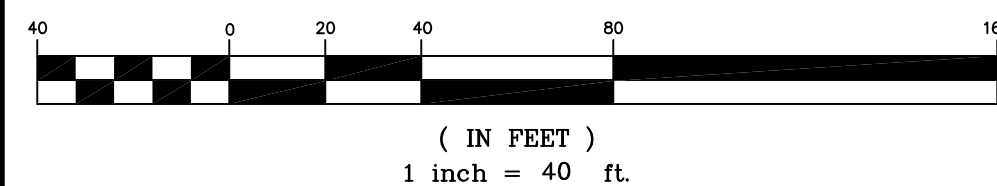
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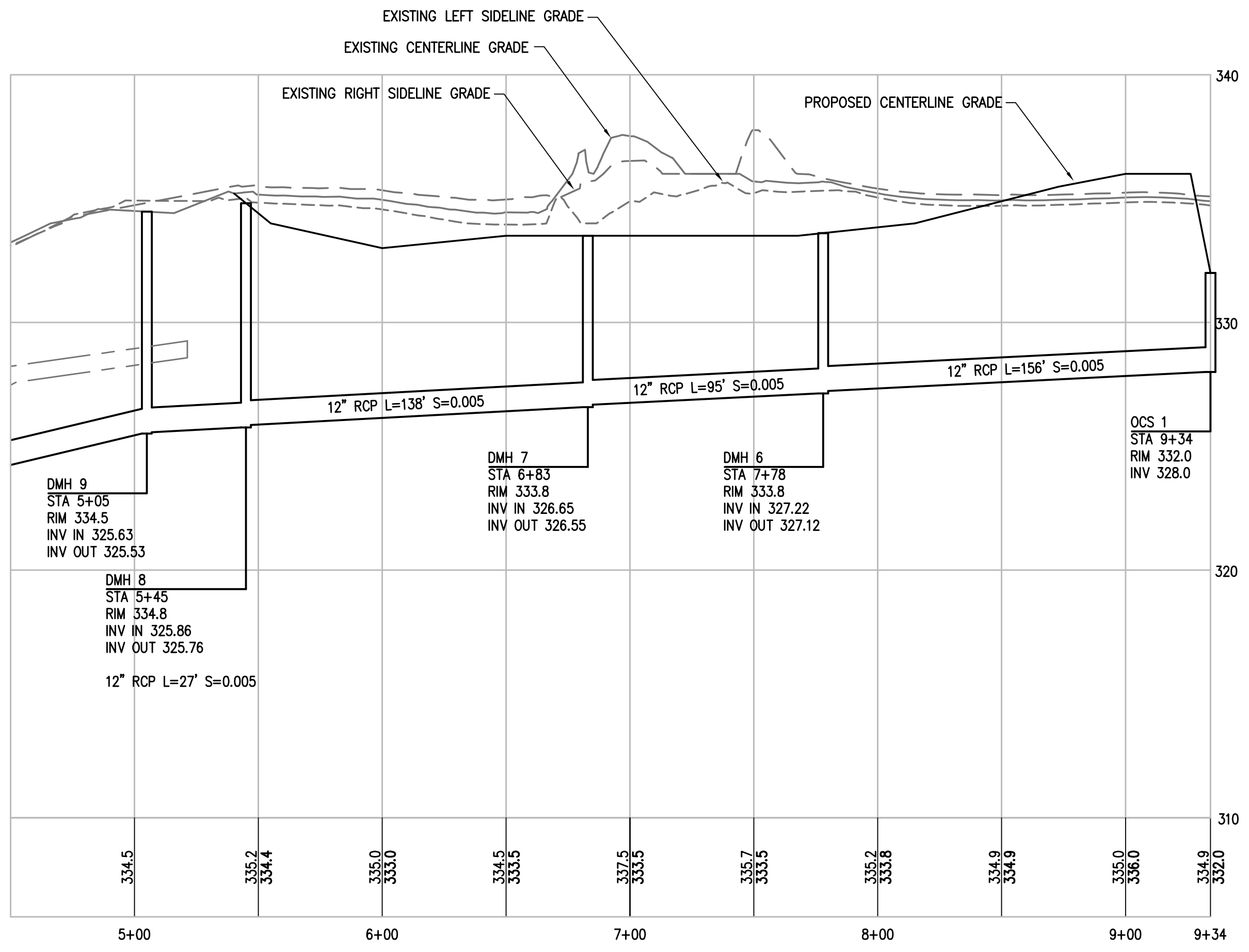
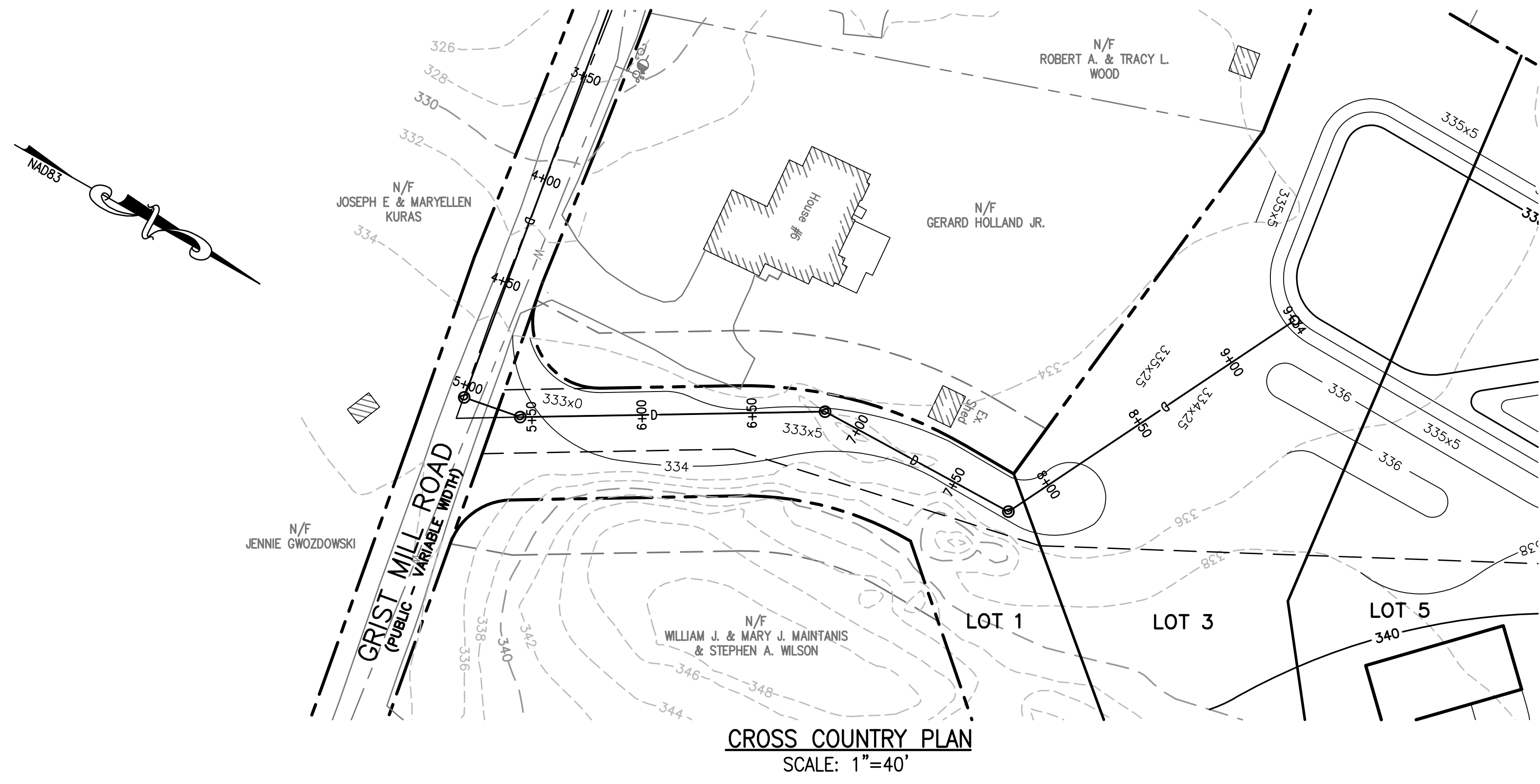
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SCALE: 1" = 40' DATE: MARCH 13, 2015

ROADWAY PROFILE PLAN 4/5

SHEET NO.: SHEET 13 OF 17 PROJECT NO.: G-353



CROSS COUNTRY PROFILE
SCALE: HORIZONTAL - 1"=40'
VERTICAL - 1"=4'

LEGEND	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED EASEMENT LINE
	PROPOSED ZONING YARD SETBACK LINE
	EXISTING CONTOUR - HIGH
	EXISTING CONTOUR - LOW
	PROPOSED CONTOUR - HIGH
	PROPOSED CONTOUR - LOW
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	PROPOSED ELECTRIC, TELEPHONE, CABLE
	PROPOSED DRAIN LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING GAS LINE
	PROPOSED GAS LINE
	EXISTING SEWER LINE
	PROPOSED SEWER LINE
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	WETLAND BUFFER
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	PROPOSED EDGE PAVEMENT
	PROPOSED SLOPED GRANITE CURB
	PROPOSED VERTICAL GRANITE CURB
	EXISTING TREE LINE
	PROPOSED TREE LINE
	ZONE LINE
	EROSION BARRIER

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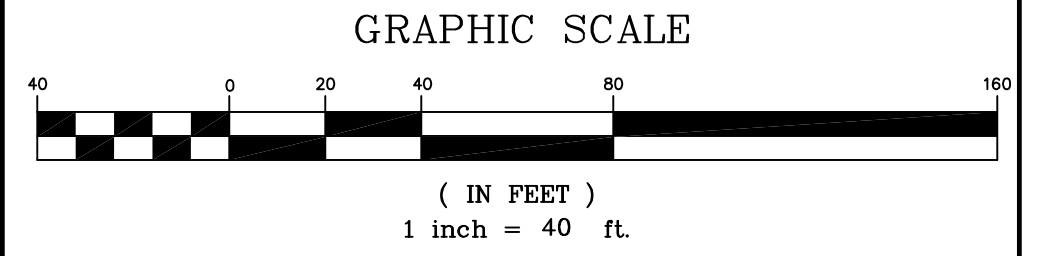
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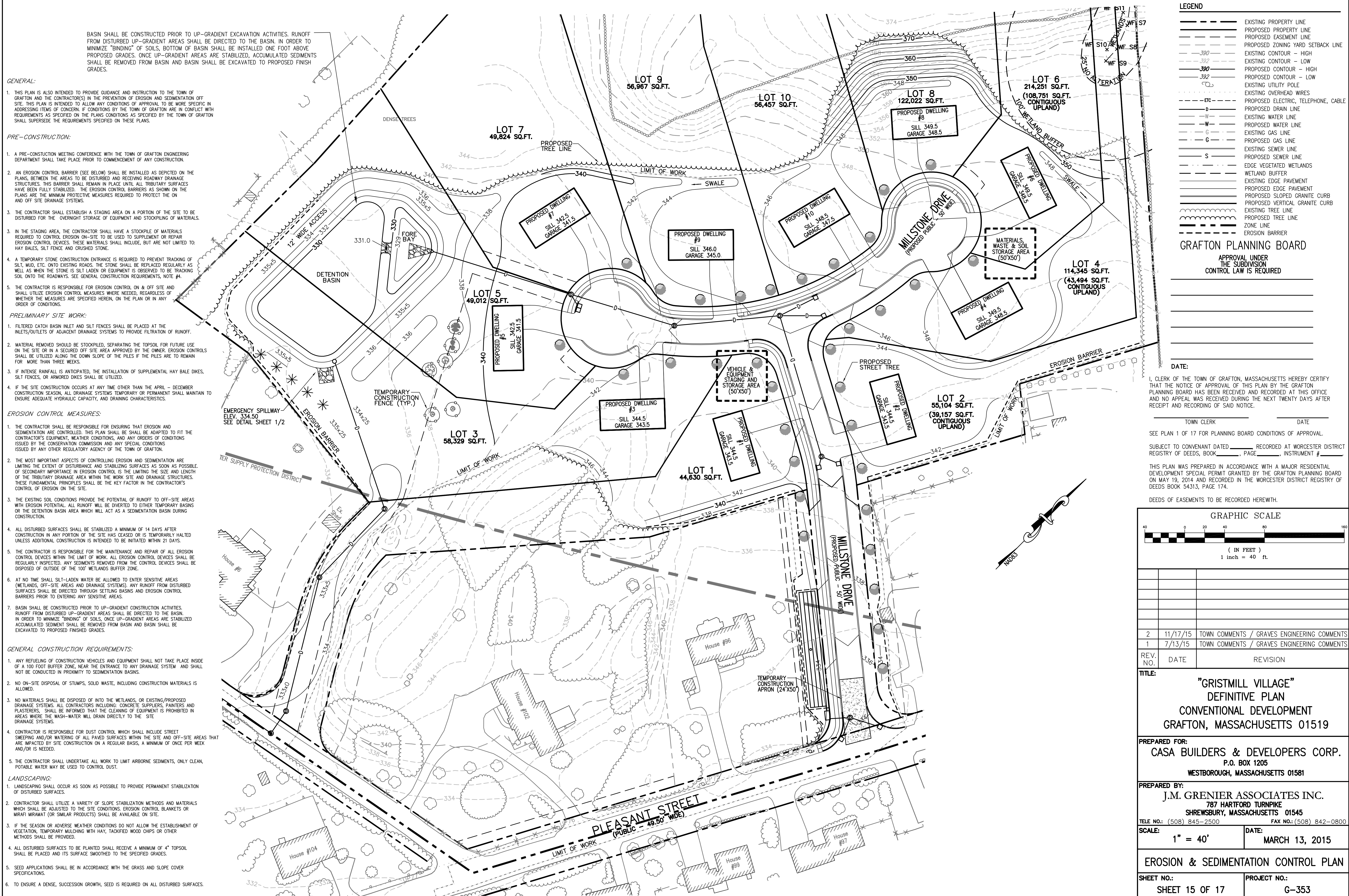
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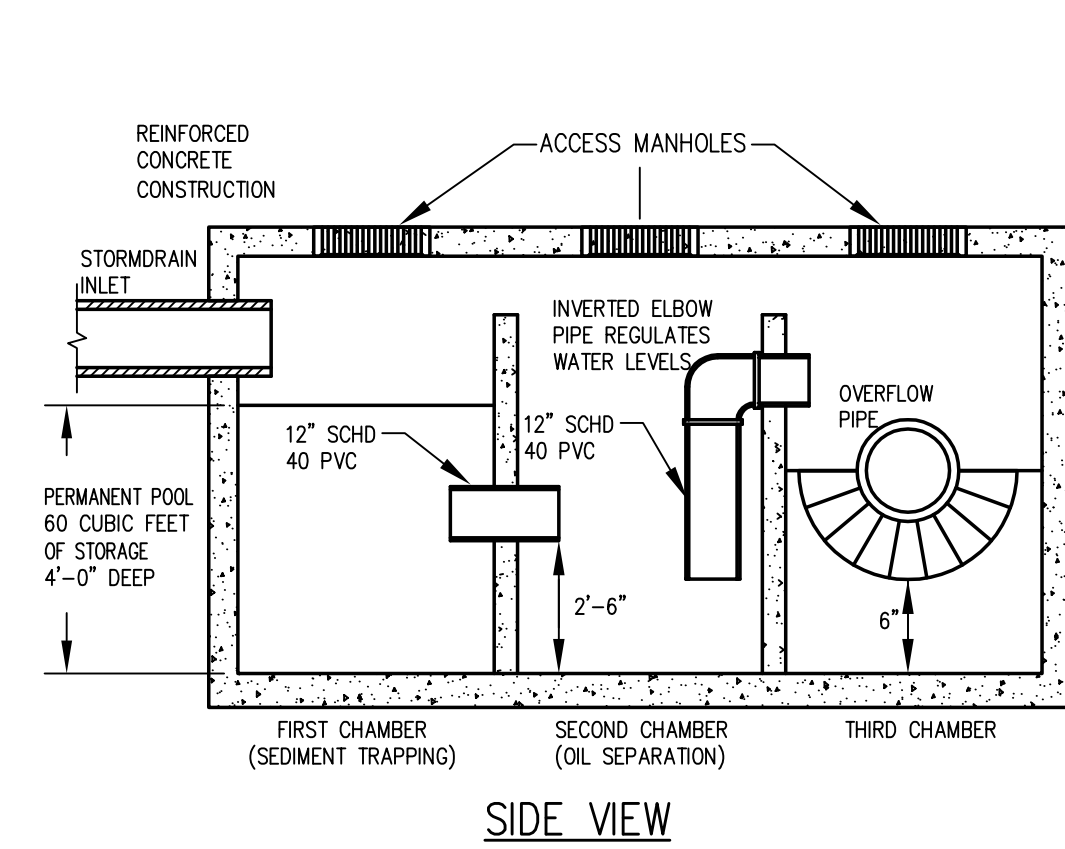
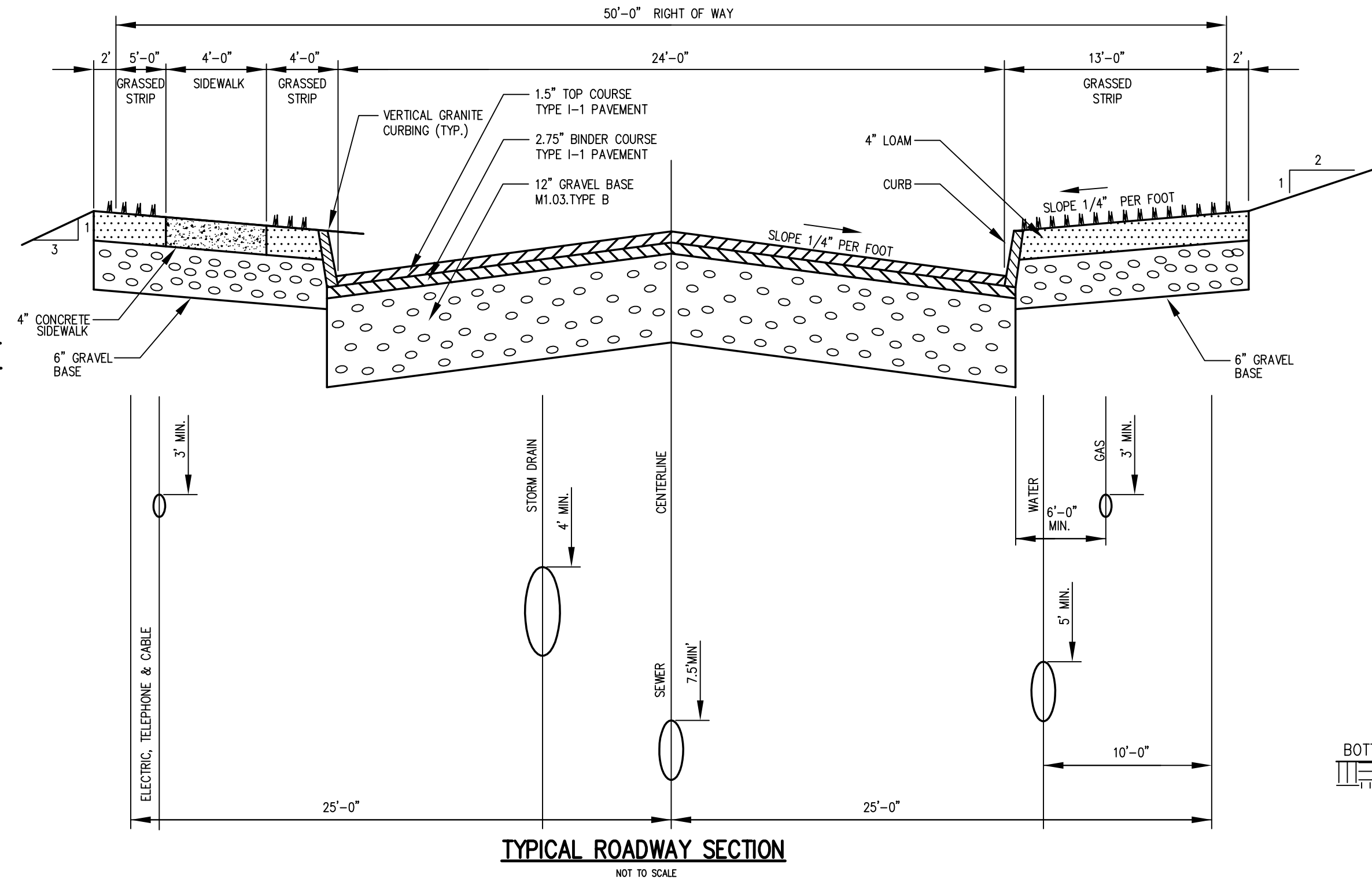
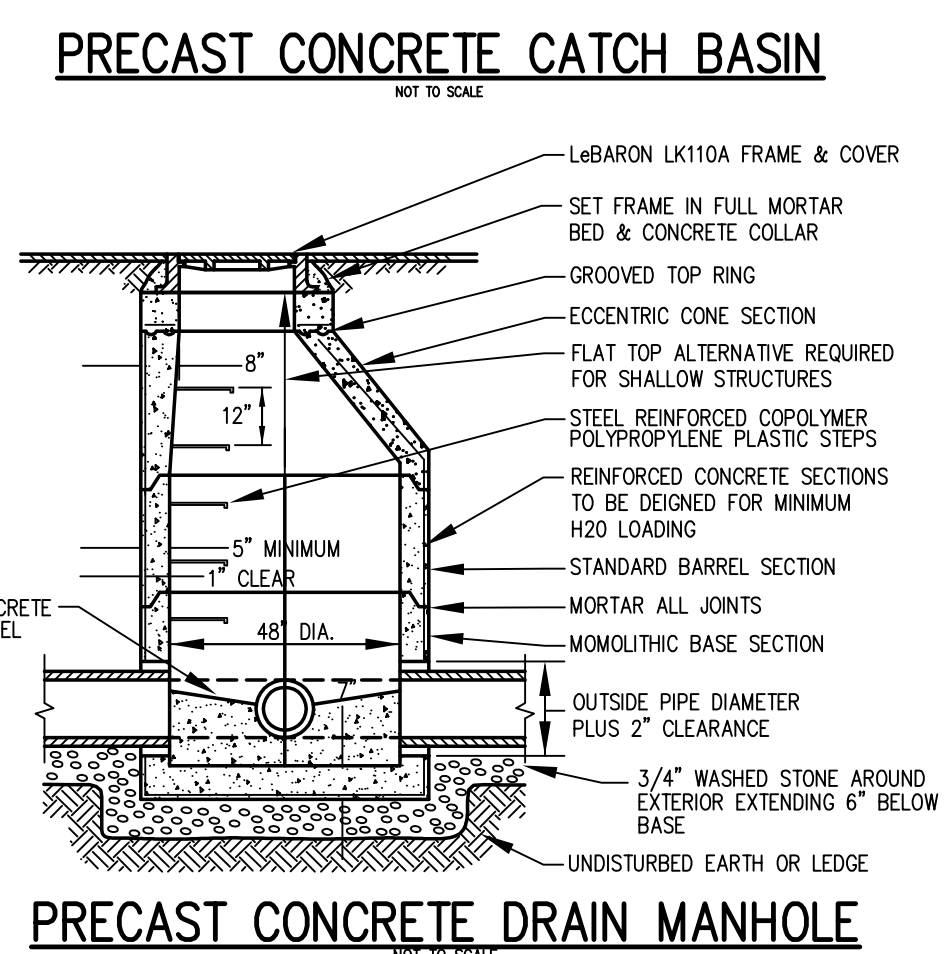
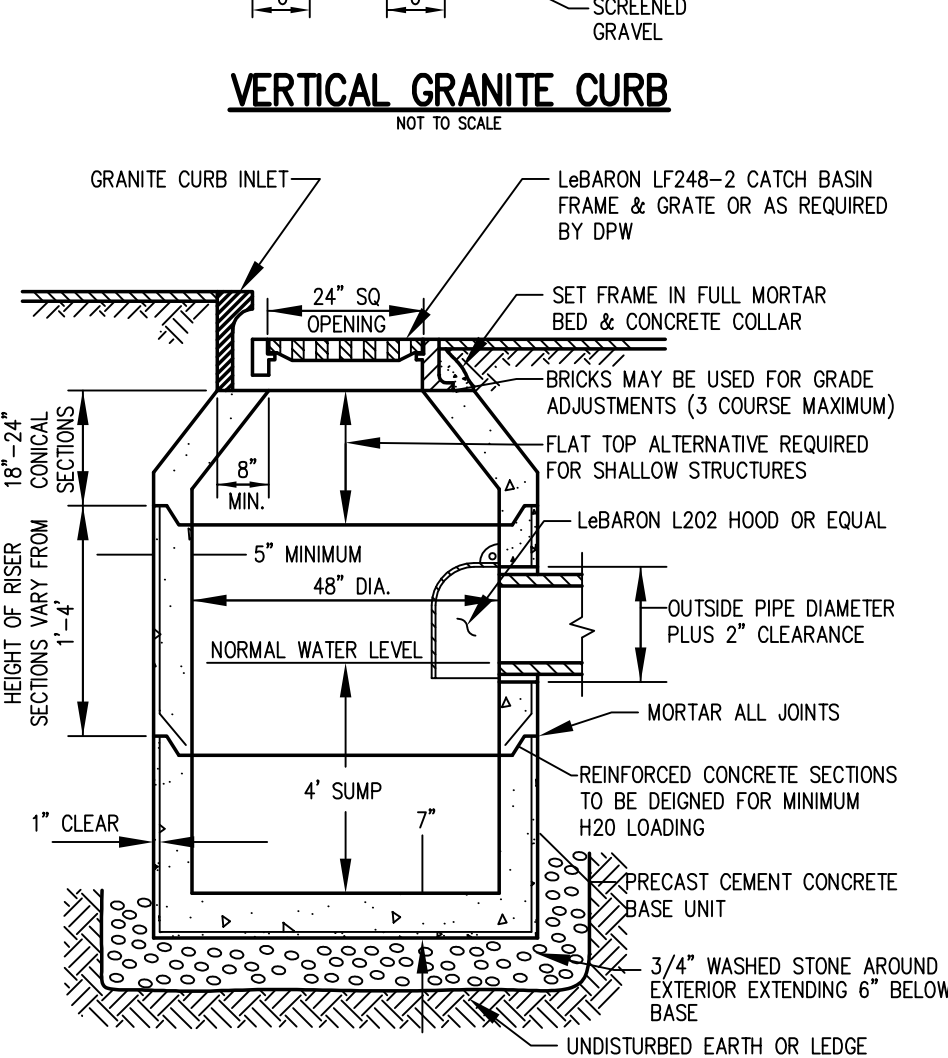
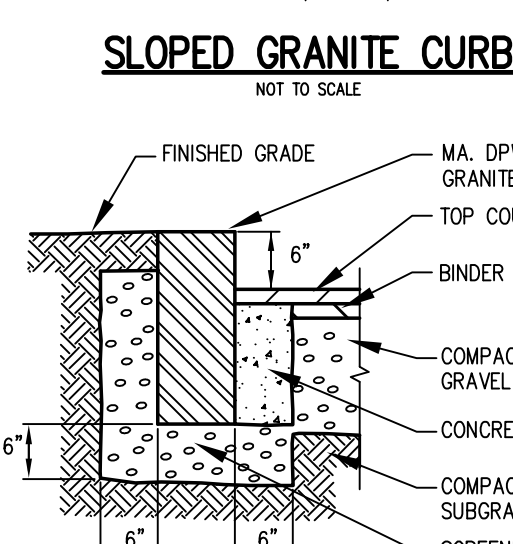
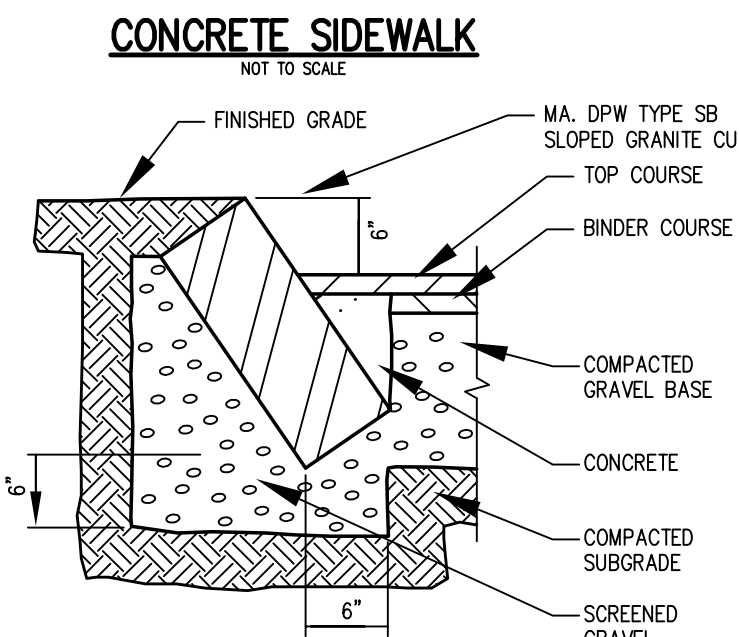
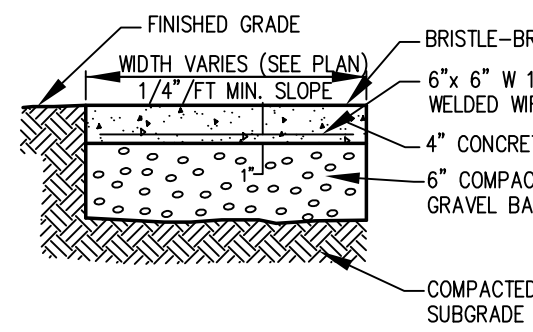
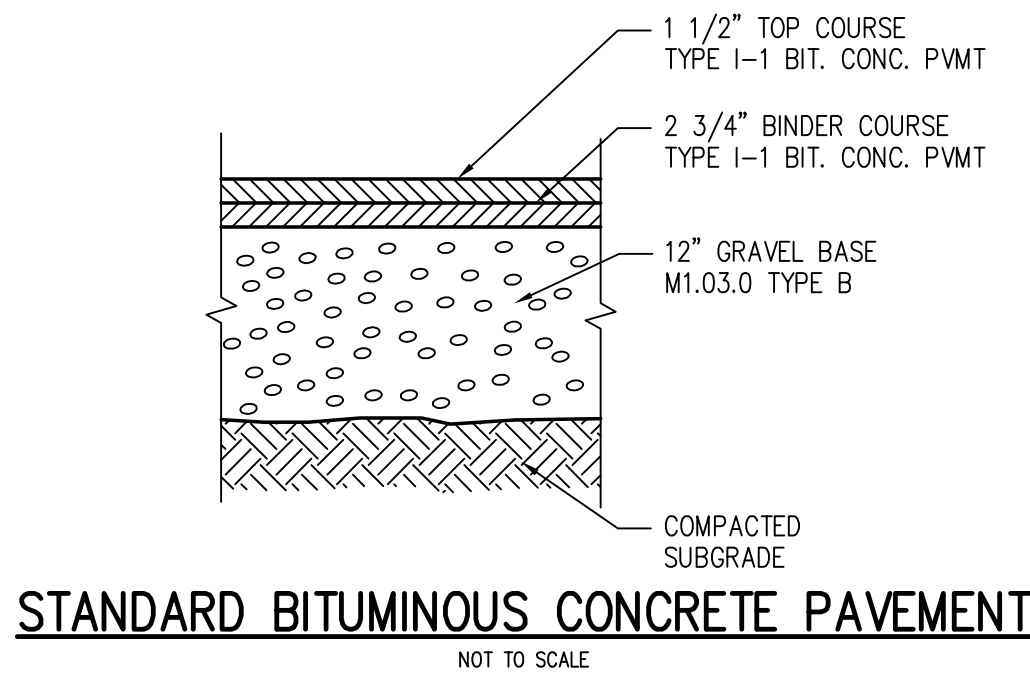
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SCALE: 1" = 40' DATE: MARCH 13, 2015

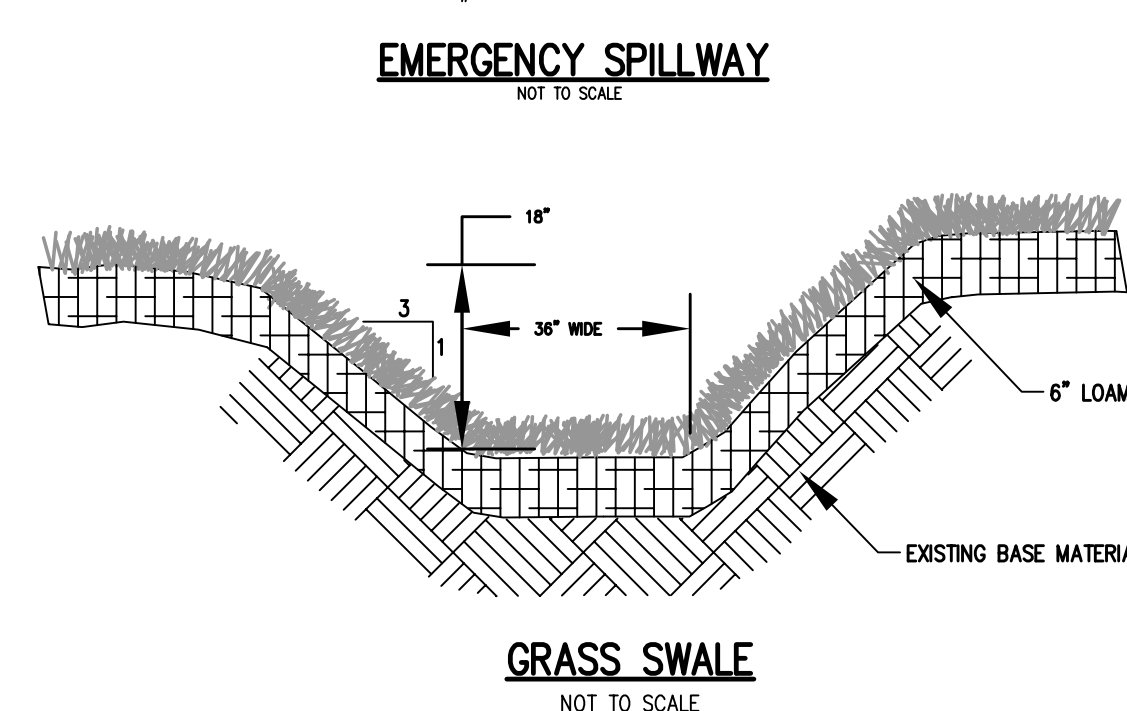
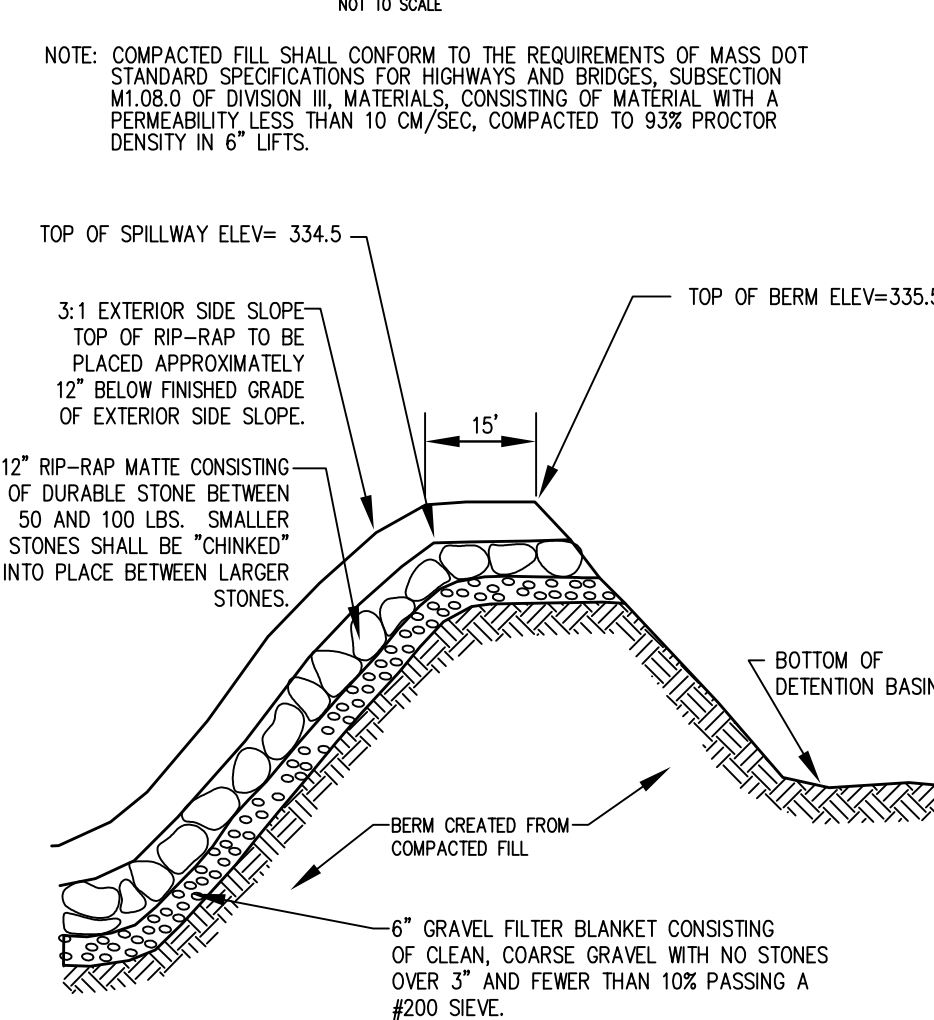
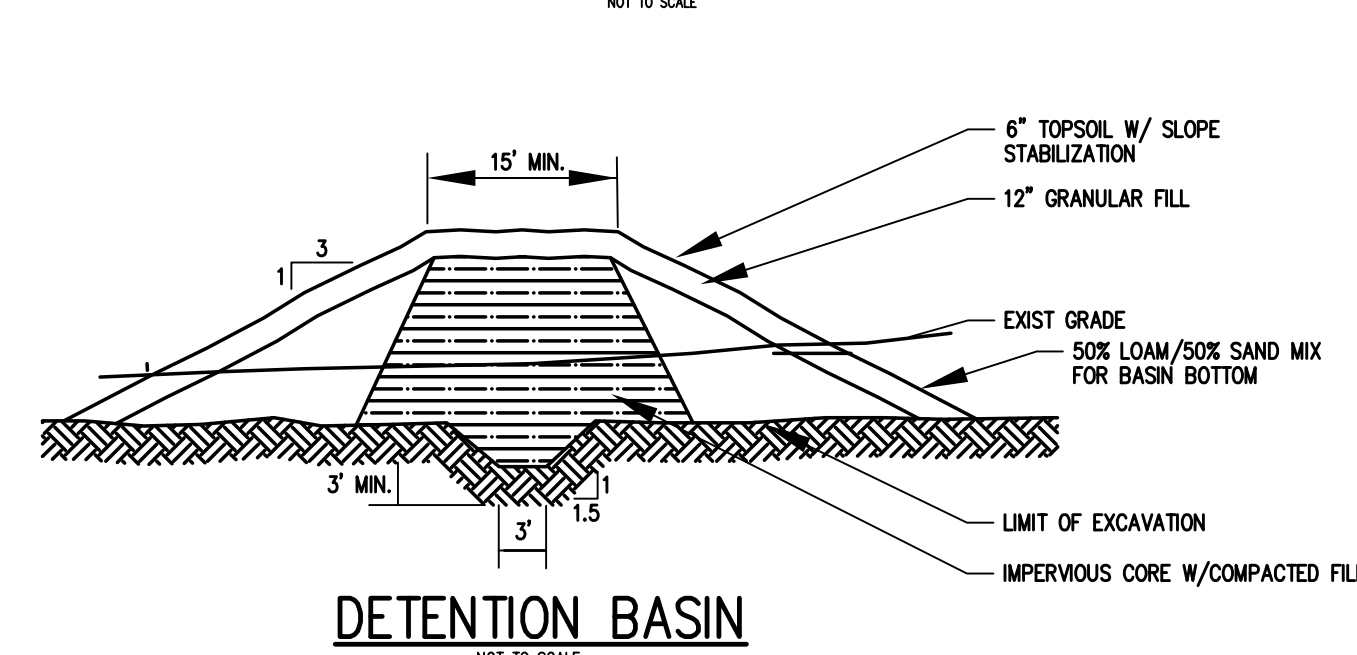
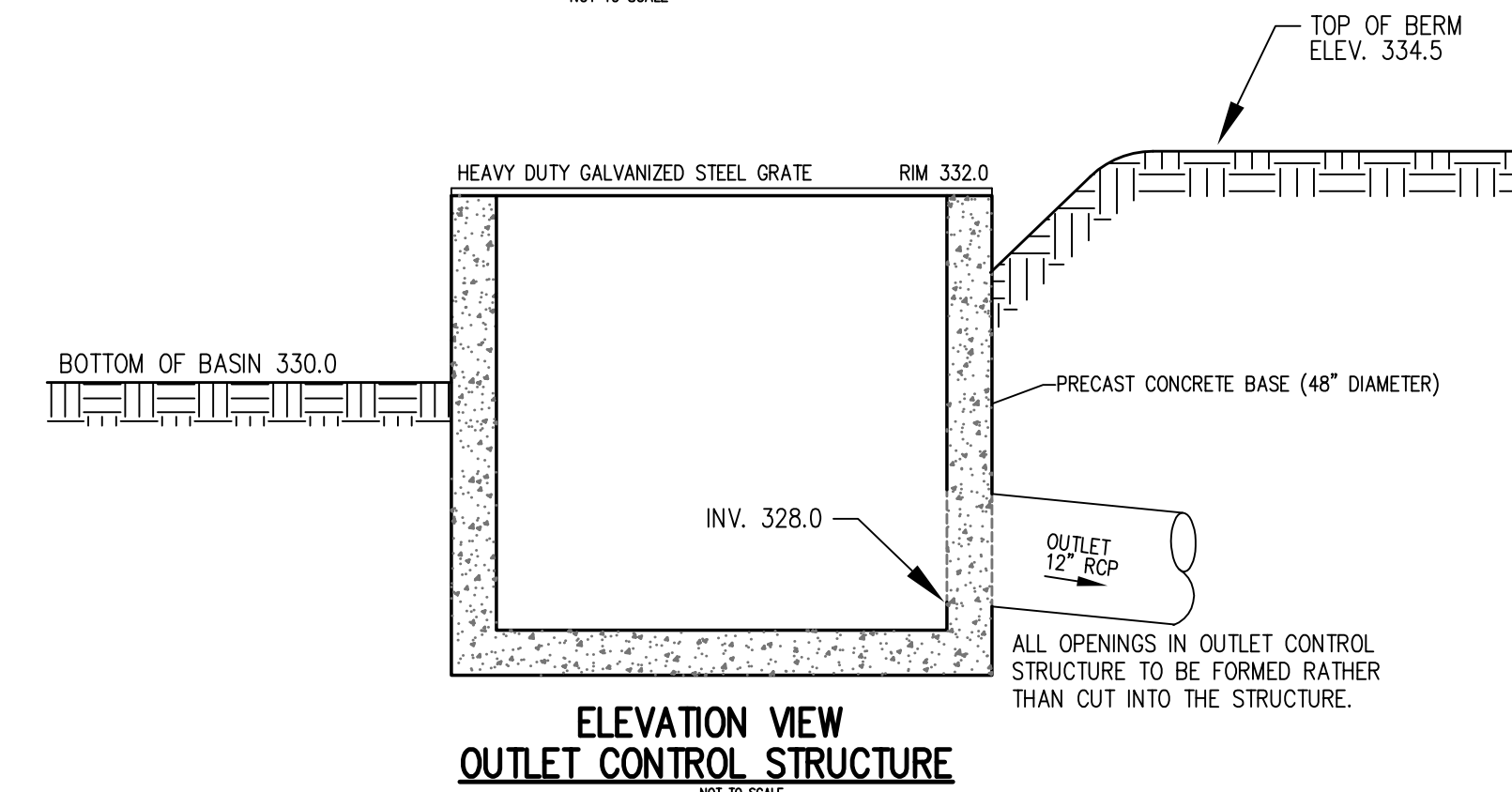
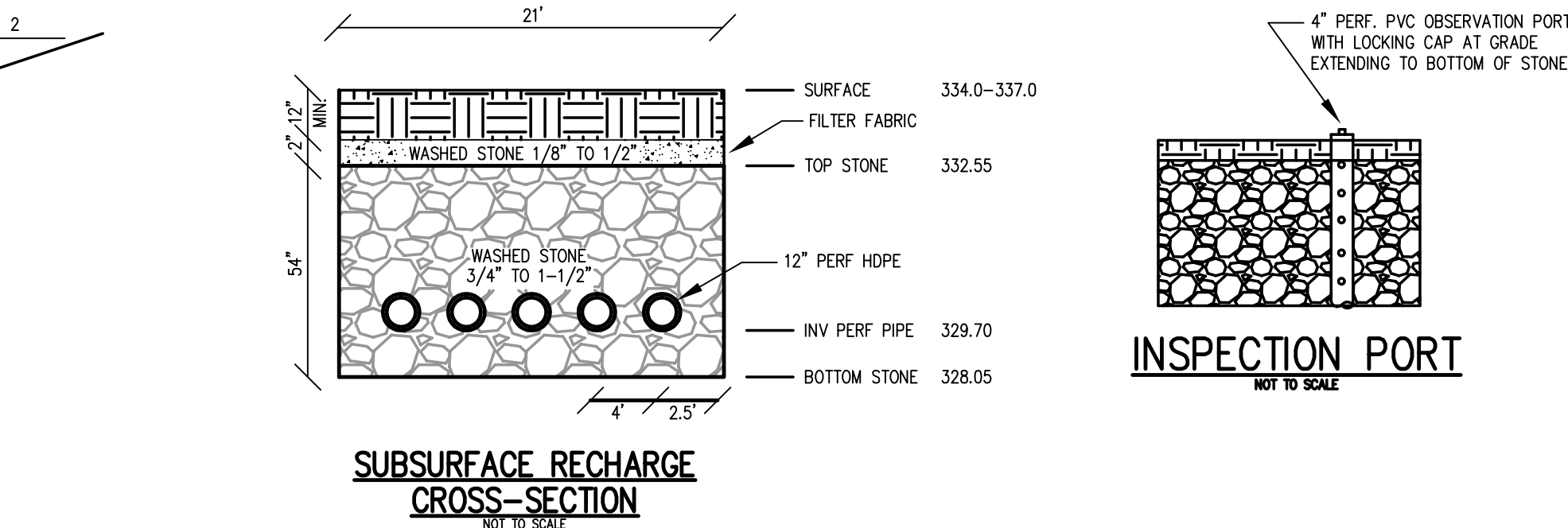
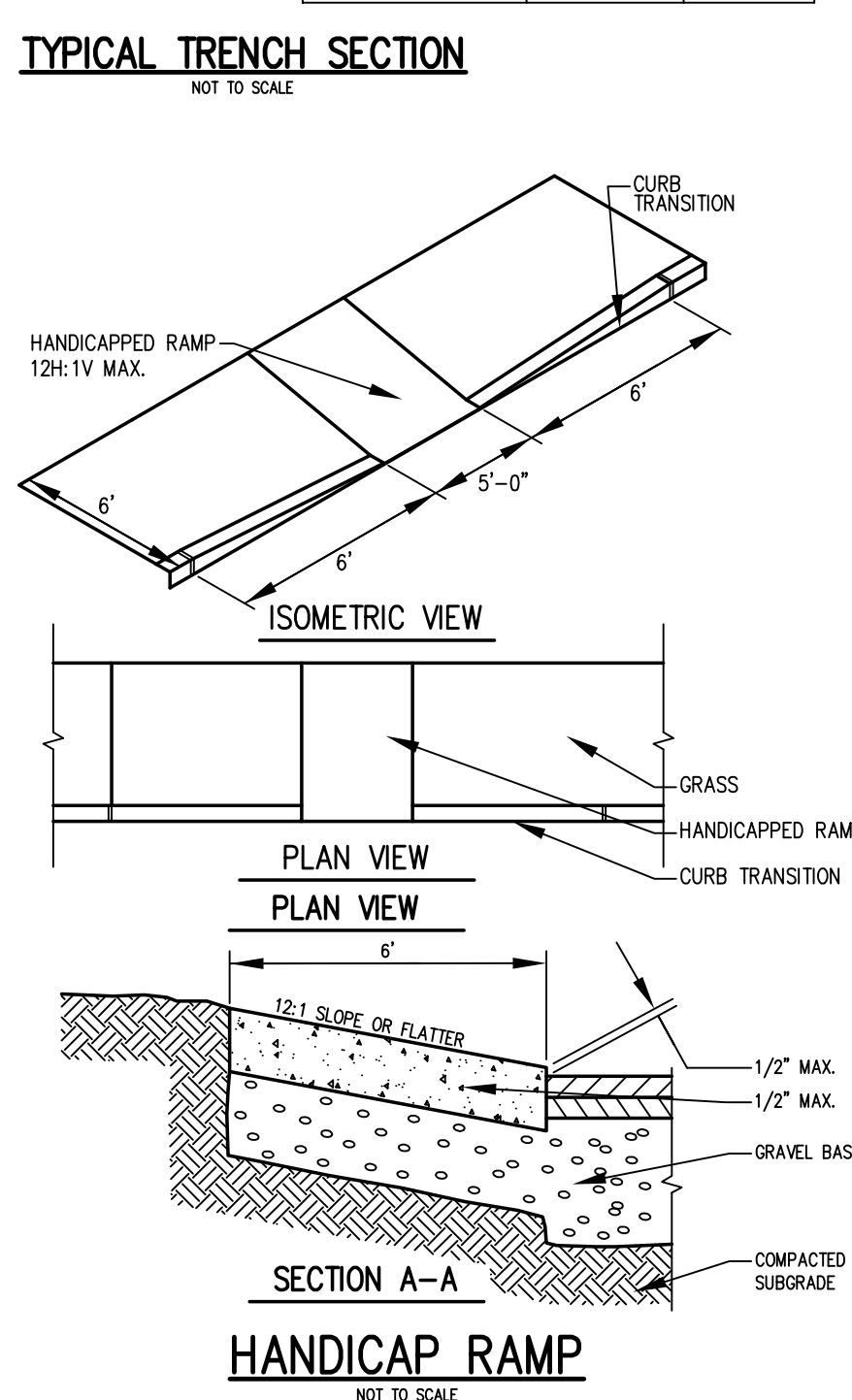
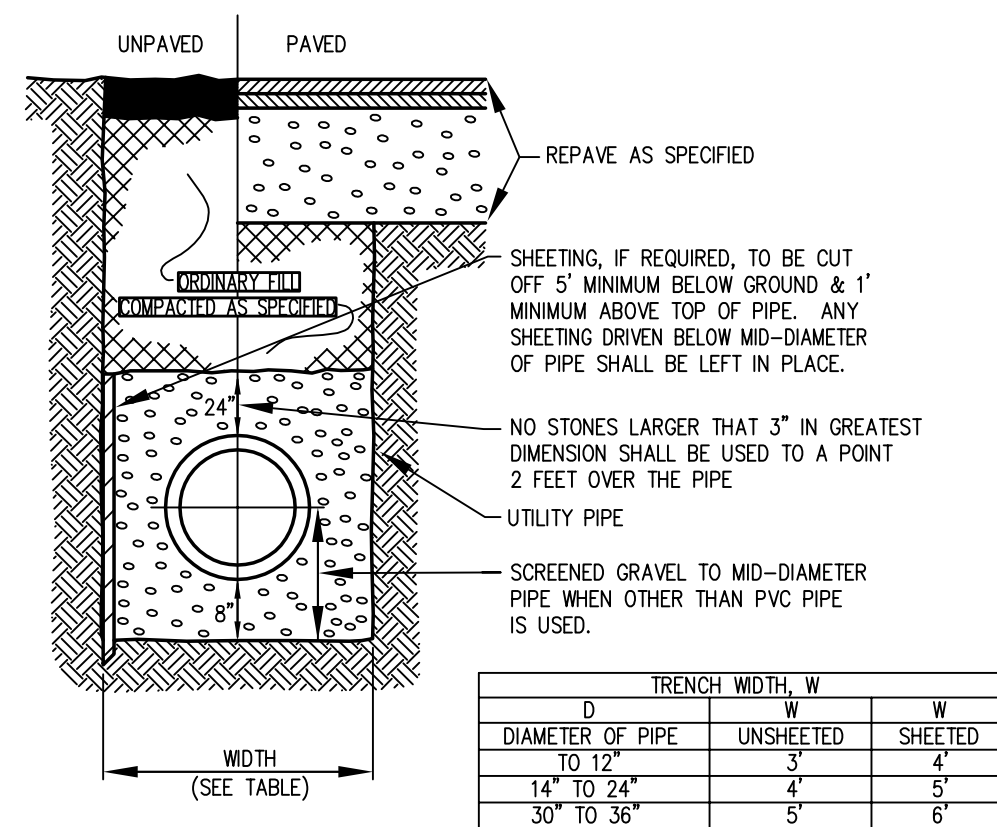
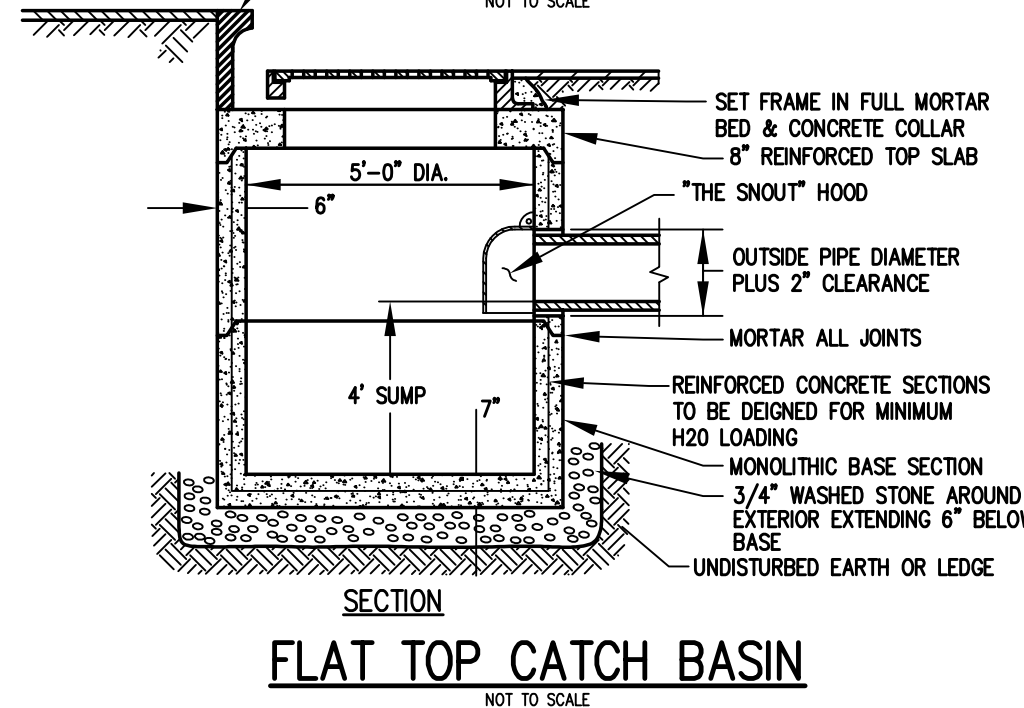
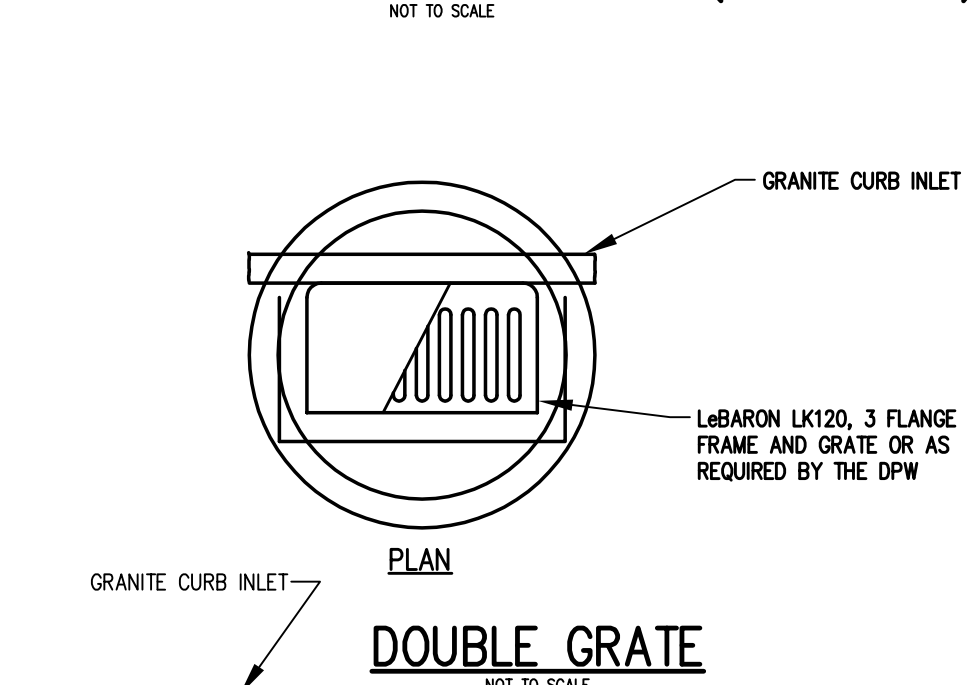
ROADWAY PROFILE PLAN 5/5

SHEET NO.: SHEET 14 OF 17 PROJECT NO.: G-353

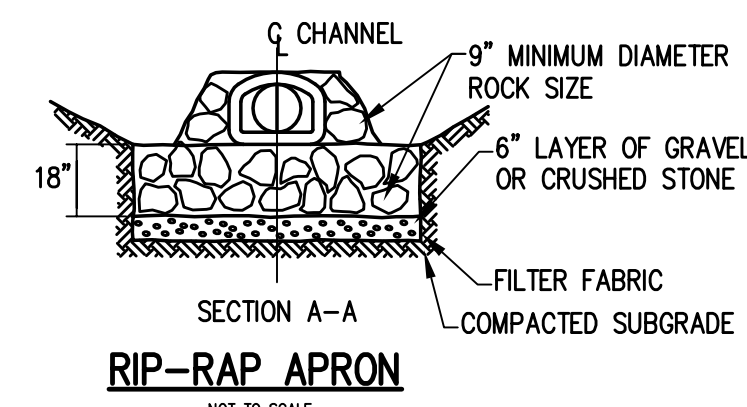
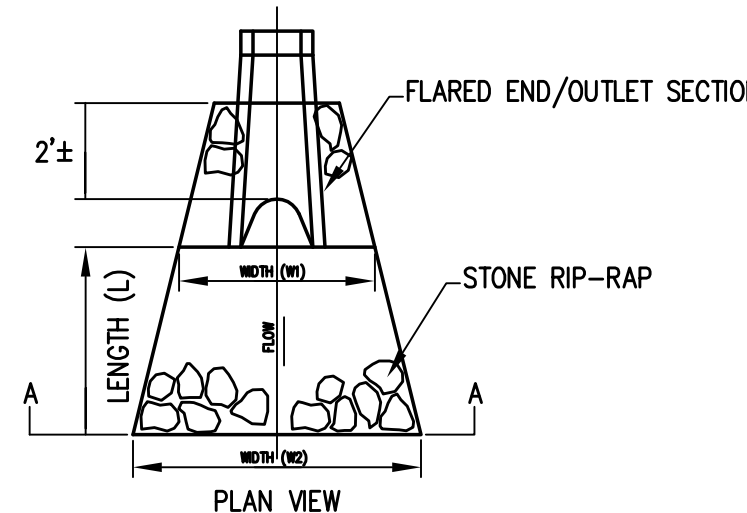




NOTES: INTERIOR TANK DIMENSIONS ARE 5'-0" X 10'-0" X 5'-0" HEIGHT
FIRST CHAMBER DIMENSIONS ARE 5'-0" X 3'-0" X 4'-0" HEIGHT



DIMENSIONS (TYP.)			
OUTLET	L	W1	W2
1	23	6	16



GRAFTON PLANNING BOARD
APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

DATE: _____
I, CLERK OF THE TOWN OF GRAFTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GRAFTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO APPEAL WAS RECEIVED DURING THE NEXT TWENTY DAYS AFTER RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____
SEE PLAN 1 OF 17 FOR PLANNING BOARD CONDITIONS OF APPROVAL.
SUBJECT TO CONVENANT DATED _____, RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK _____, PAGE _____, INSTRUMENT # _____

THIS PLAN WAS PREPARED IN ACCORDANCE WITH A MAJOR RESIDENTIAL DEVELOPMENT SPECIAL PERMIT GRANTED BY THE GRAFTON PLANNING BOARD ON MAY 19, 2014 AND RECORDED IN THE WORCESTER DISTRICT REGISTRY OF DEEDS BOOK 54313, PAGE 174.

DEEDS OF EASEMENTS TO BE RECORDED HEREWITH.

2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION

TITLE:
"GRISTMILL VILLAGE"
DEFINITIVE PLAN
CONVENTIONAL DEVELOPMENT
GRAFTON, MASSACHUSETTS 01519

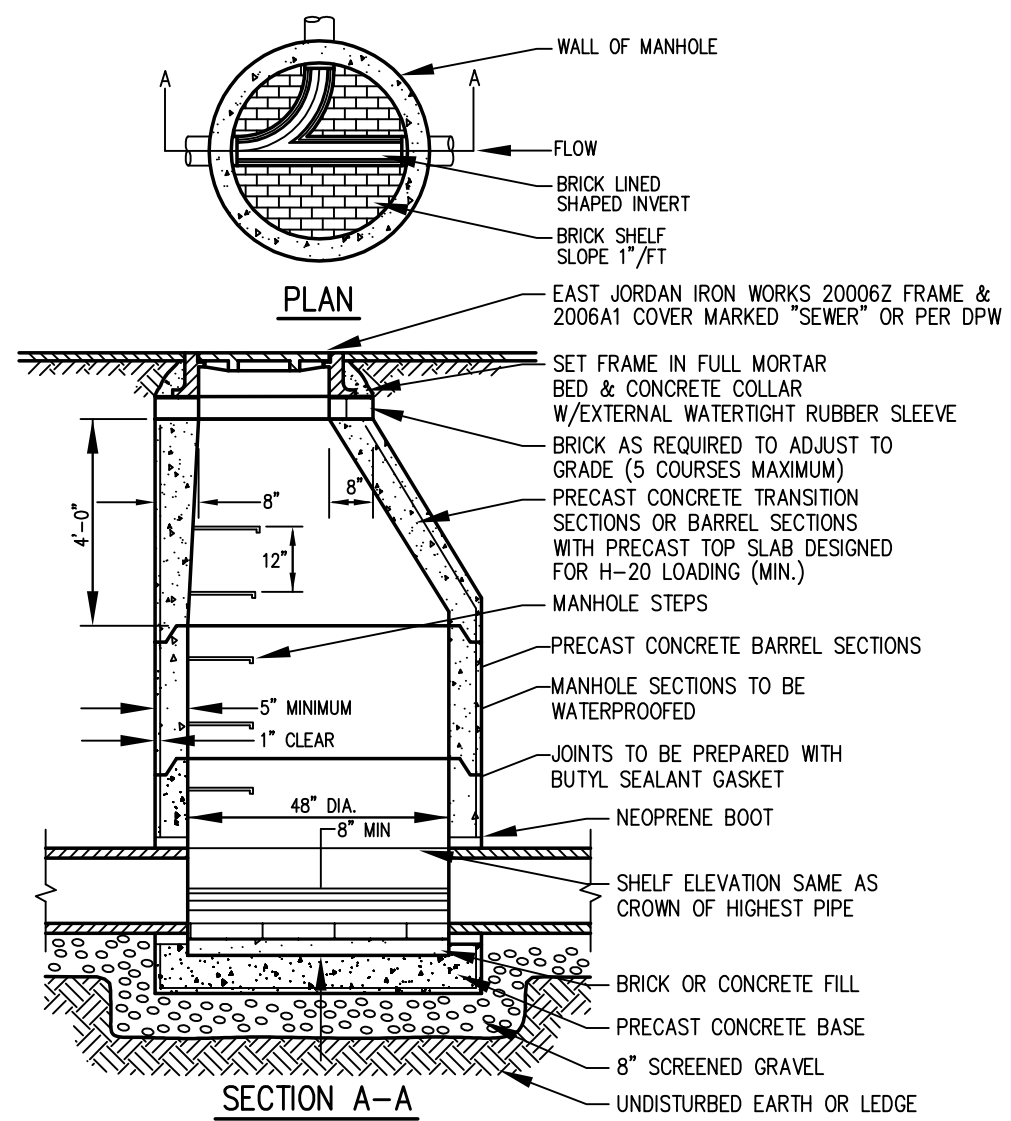
PREPARED FOR:
CASA BUILDERS & DEVELOPERS CORP.
P.O. BOX 1205
WESTBOROUGH, MASSACHUSETTS 01581

PREPARED BY:
J.M. GRENIER ASSOCIATES INC.
787 HARTFORD TURNPIKE
SHREWSBURY, MASSACHUSETTS 01545

TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800

SCALE: AS SHOWN **DATE:** MARCH 13, 2015

DETAIL PLAN 1/2
SHEET NO.: SHEET 16 OF 17 **PROJECT NO.:** G-353



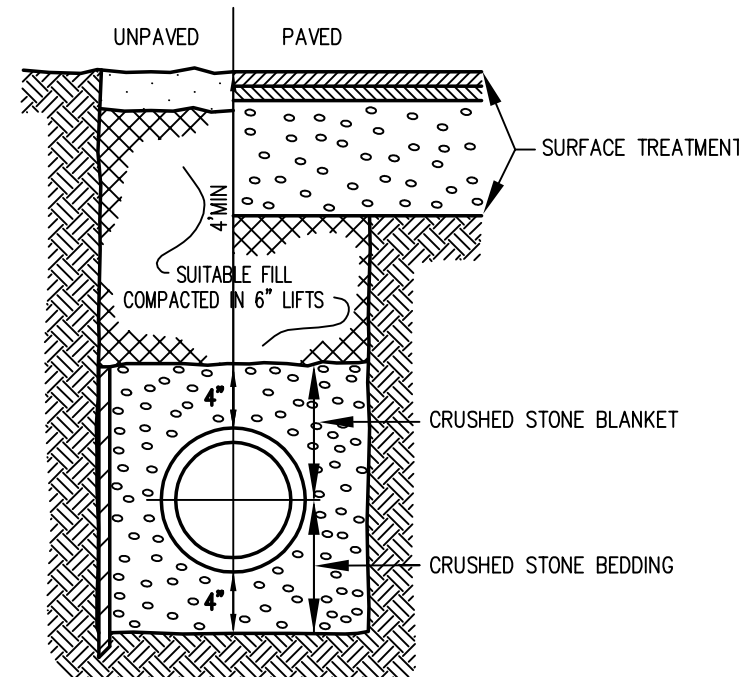
PRECAST SEWER MANHOLE

NOT TO SCALE

- NOTES
- EXTERNAL RUBBER BAND SEAL BY SSI OR APPROVED EQUAL SHALL BE PROVIDED AT ALL JOINTS.
 - FLEXIBLE MANHOLE SLEEVES SHALL INCLUDE STAINLESS STEEL CLAMPS AND EXPANSION RINGS.
 - DOUBLE BUTYL RUBBER FLEXIBLE ROPE SEAL SHALL BE UTILIZED AT EACH HORIZONTAL JOINT.

SEWER EXTENSION TESTING REQUIREMENTS

- AIR TEST ALL SEWER MAINS 4.0 PSI FOR 7 MINUTES
ALLOWABLE DROP OF 1.0 PSI IN 7 MINUTES
- VACUUM TEST FOR ALL SEWER MANHOLES 10"hg OF VACUUM, TIME OF TEST VARIES BY DEPTH OF MANHOLE STRUCTURE SEE BELOW FOR TIMES:
UP TO 10 FEET 1 MINUTE
UP TO 15 FEET 1 MINUTE 15 SECONDS
UP TO 20 FEET 1 MINUTE 30 SECONDS
ALLOWABLE DROP OF 1.0"hg IN THE TIME OF TEST
- MANDREL OF APPROPRIATE SIZE MUST BE PULLED THROUGH ALL PIPE EXCEPT DUCTILE IRON
- AT THE DISCRETION OF THE SUPERINTENDENT ALL EXTENSIONS OF THREE (3) OR MORE CONNECTIONS MUST COMPLETE A CCTV INSPECTION BEFORE FINAL ACCEPTANCE WILL BE GRANTED. AN ELECTRONIC COPY OF THE CCTV INSPECTION MUST BE PROVIDED TO THE SEWER DEPT
- ALL TESTING MUST BE WITNESSED BY SEWER DEPT STAFF

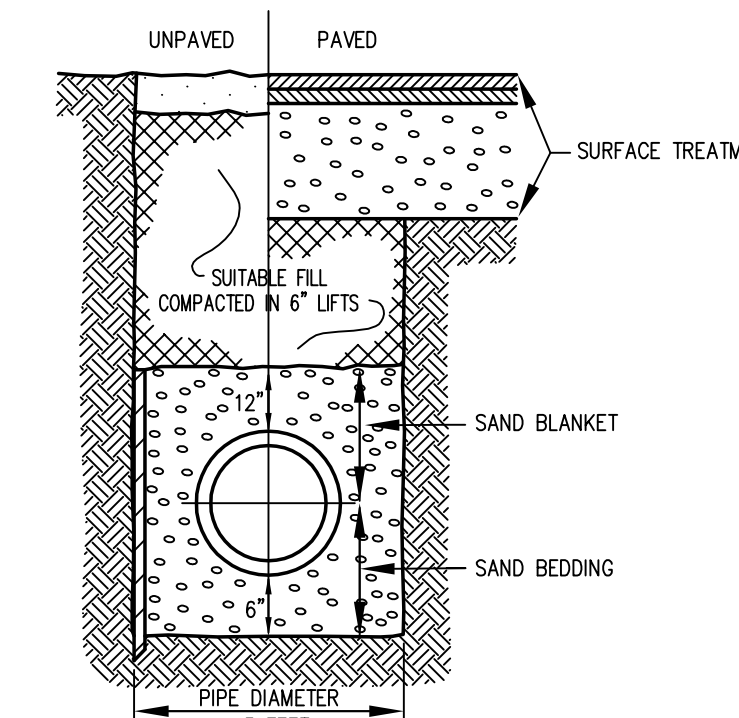


SEWER SHALL MAINTAIN A 6" MIN SEPARATION TO BEDROCK IN ALL DIRECTIONS

TYPICAL SEWER TRENCH SECTION

NOT TO SCALE

NOTE: DUCTILE IRON PIPE REQUIRED IN ALL FILLED AREAS



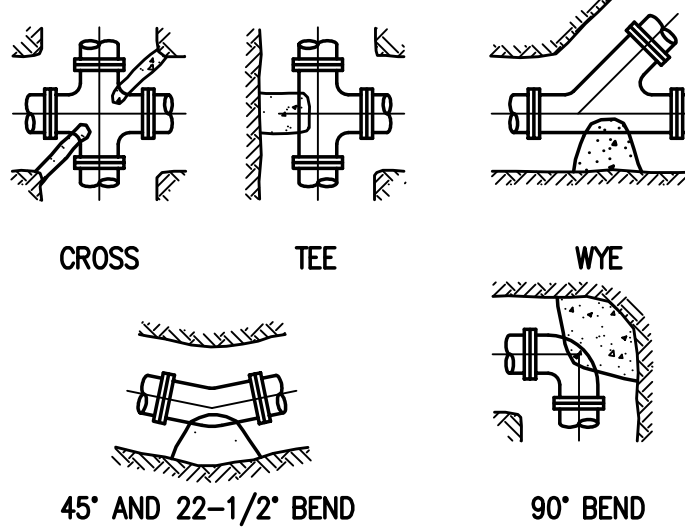
TYPICAL WATER LINE TRENCH SECTION

NOT TO SCALE

TABLE OF BEARING AREA IN SQ. FT. AGAINST UNDISTURBED SOIL			
SIZE OF MAIN	90 DEGREE BEND	TEE & PLUG	45 DEGREE BEND
6"	10	8	6
8"	16	12	10
10"	26	19	15
12"	36	26	20

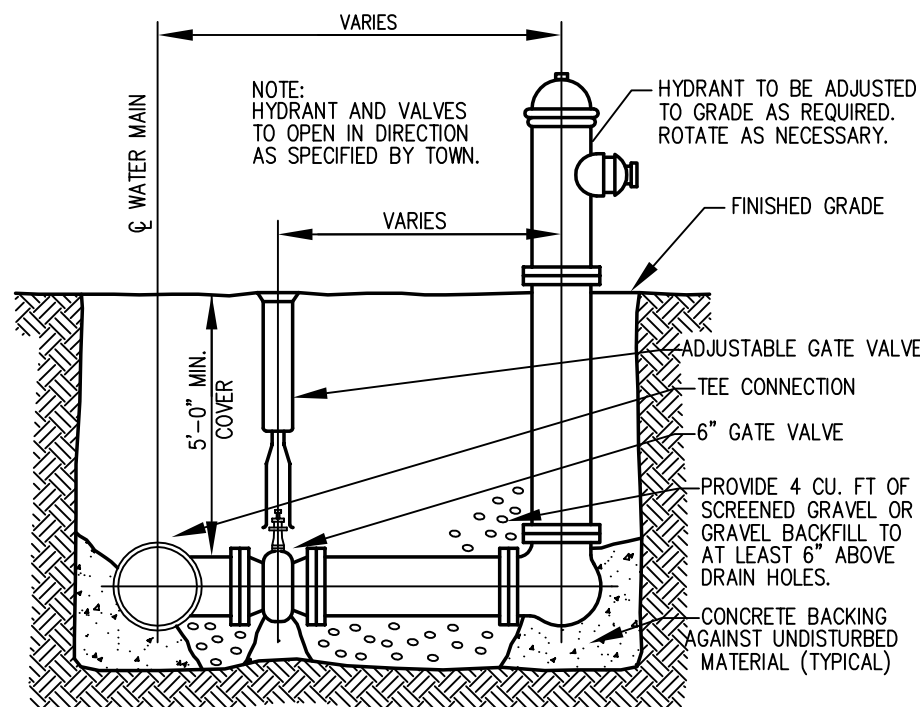
NOTE: FOR FITTINGS W/ LESS THAN 45° DEFLECTION USE BEARING AREA FOR 45° BEND.

NOTE: ALL CONCRETE SHALL BE 2500 P.S.I.



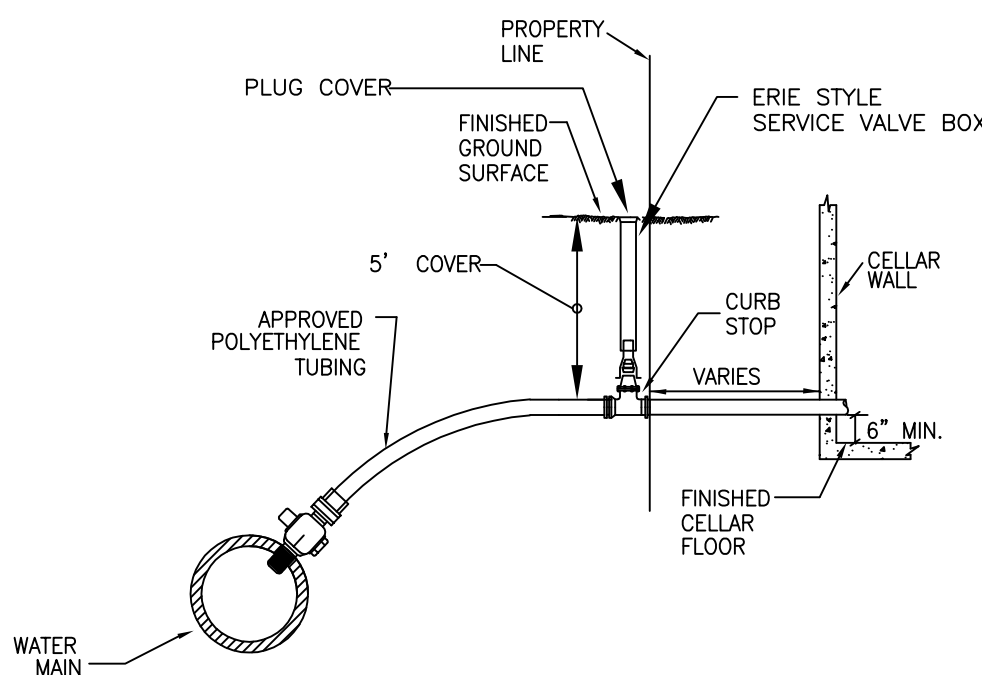
THRUST BLOCK SCHEDULE

NOT TO SCALE



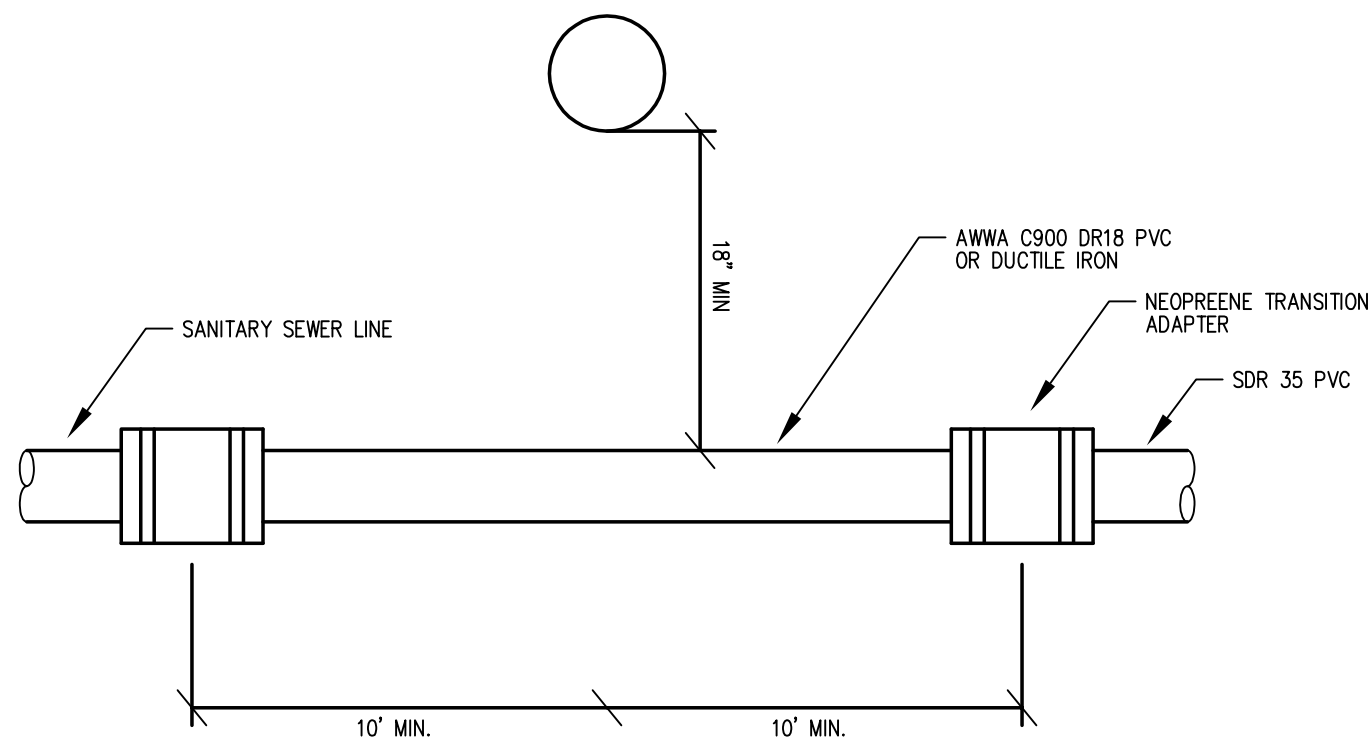
HYDRANT AND VALVE DETAIL WITH RESTRAINED JOINT HYDRANT TEE

NOT TO SCALE



WATER SERVICE CONNECTION

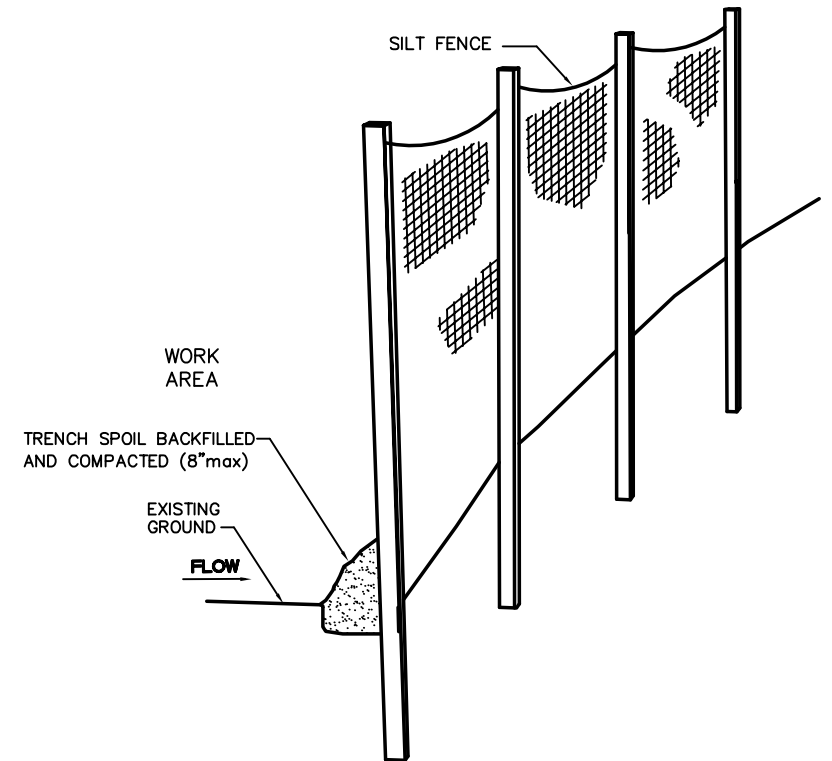
NOT TO SCALE



WATER AND SEWER CROSSING

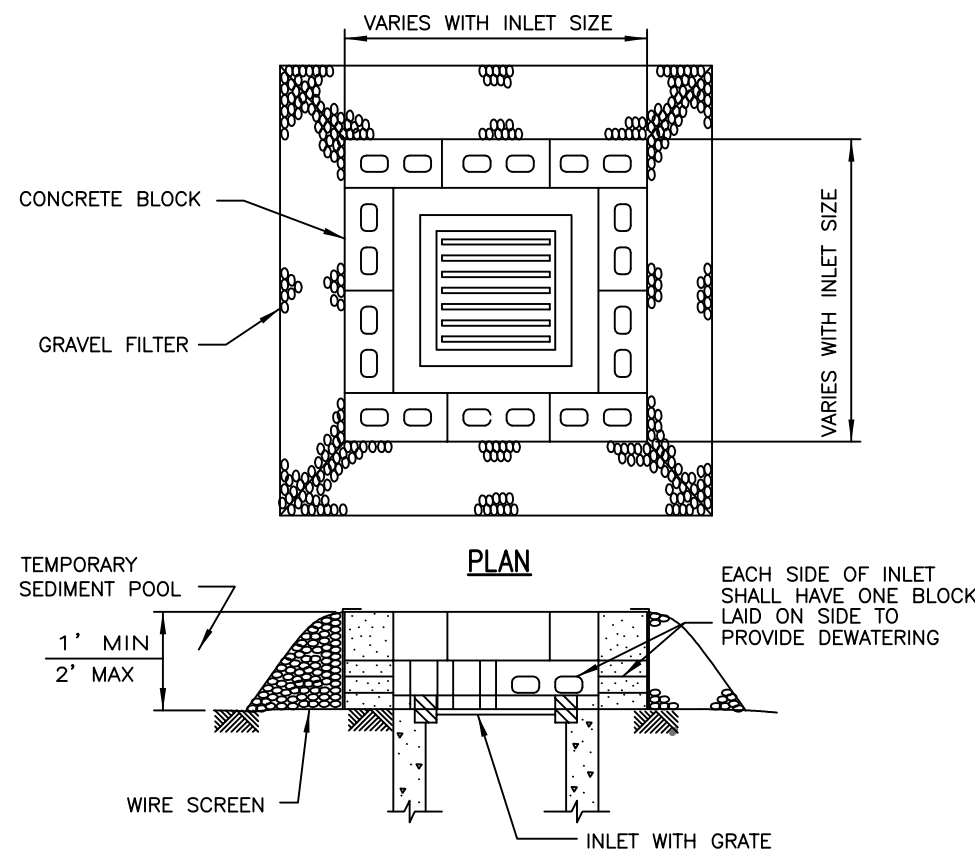
WITH VERTICAL CLEARANCE LESS THAN 2'

NOT TO SCALE



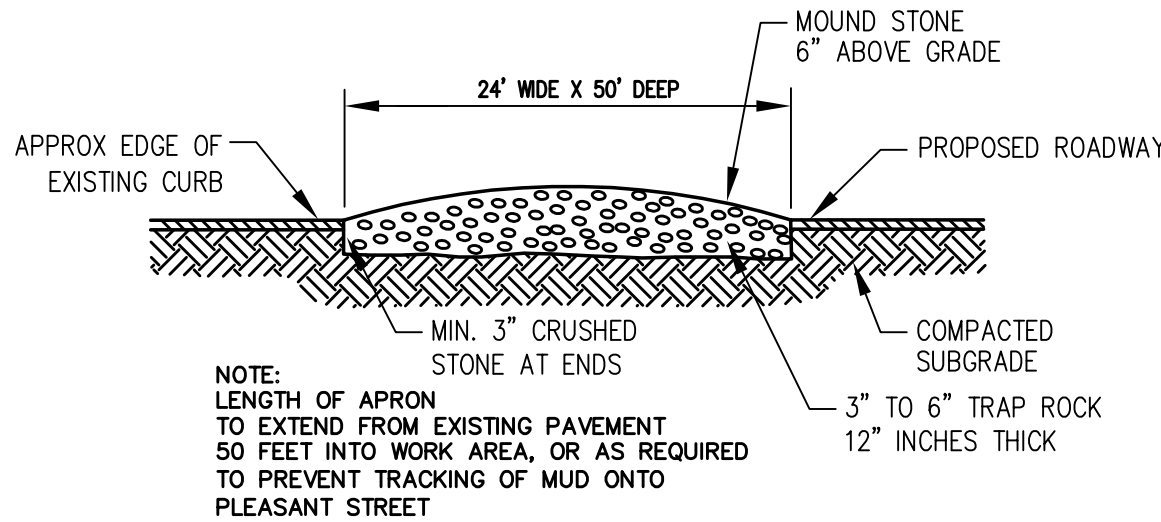
SILT FENCE BARRIER DETAIL

NOT TO SCALE



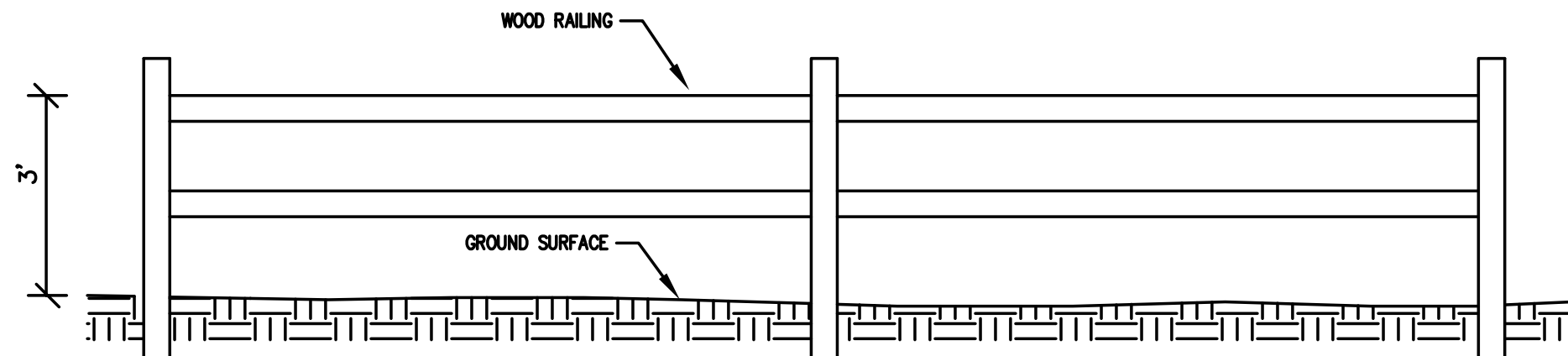
BLOCK AND GRAVEL INLET PROTECTION

NOT TO SCALE



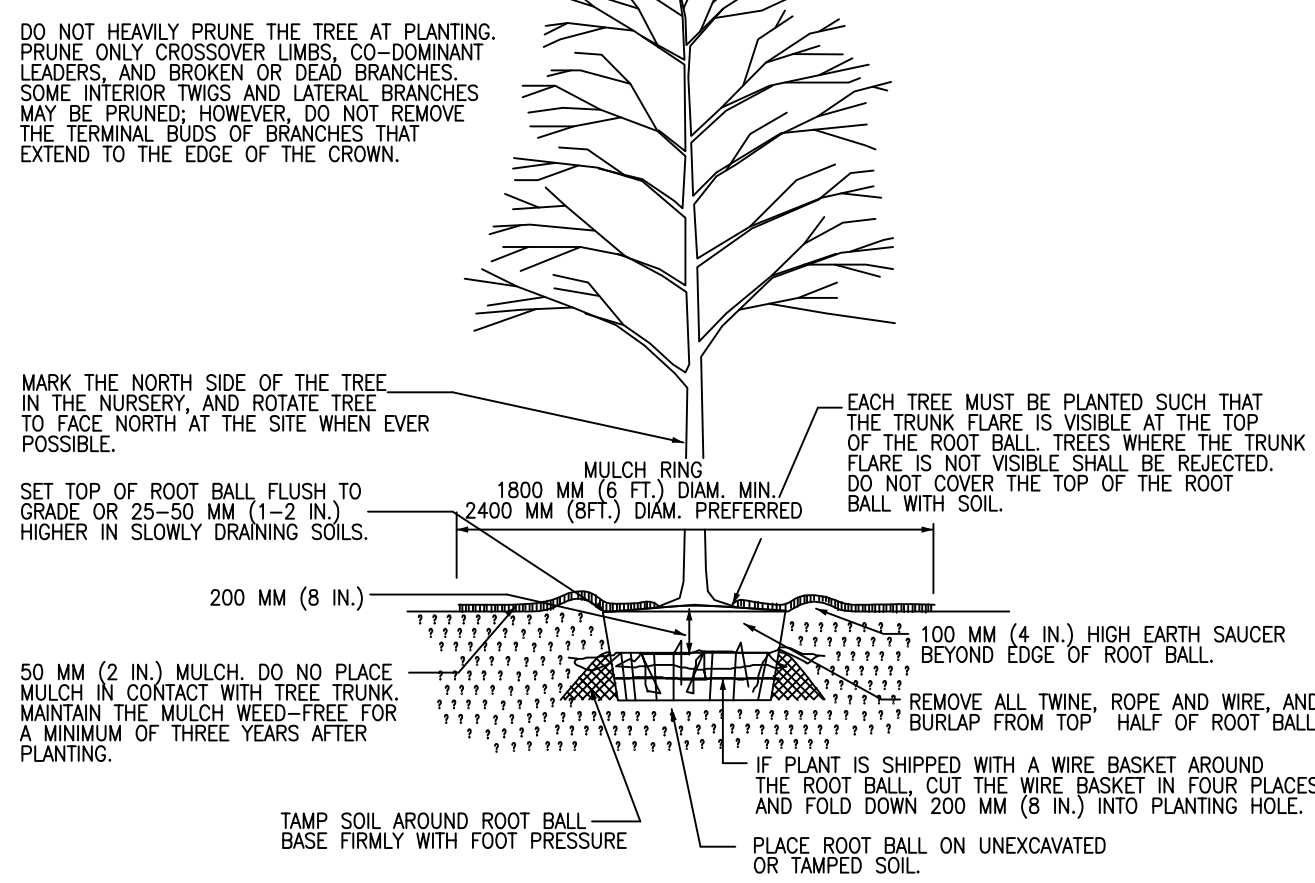
CONSTRUCTION ENTRANCE APRON

NOT TO SCALE



SPLIT RAIL FENCE DETAIL

NOT TO SCALE



TREE PLANTING DETAIL – B&B TREES

NOT TO SCALE

GRAFTON PLANNING BOARD

APPROVAL UNDER THE SUBDIVISION CONTROL LAW IS REQUIRED

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TOWN CLERK

DATE

SUBJECT TO CONVENANT DATED _____, RECORDED AT WORCESTER DISTRICT REGISTRY OF DEEDS, BOOK _____, PAGE _____, INSTRUMENT # _____

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2	11/17/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
1	7/13/15	TOWN COMMENTS / GRAVES ENGINEERING COMMENTS
REV. NO.	DATE	REVISION
TITLE:		
"GRISTMILL VILLAGE" DEFINITIVE PLAN CONVENTIONAL DEVELOPMENT GRAFTON, MASSACHUSETTS 01519		
PREPARED FOR:		
CASA BUILDERS & DEVELOPERS CORP. P.O. BOX 1205 WESTBOROUGH, MASSACHUSETTS 01581		
PREPARED BY:		
J.M. GRENIER ASSOCIATES INC. 787 HARTFORD TURNPIKE SHREWSBURY, MASSACHUSETTS 01545		
TELE NO.: (508) 845-2500 FAX NO.: (508) 842-0800		
SCALE:		DATE:
AS SHOWN		MARCH 13, 2015
DETAIL PLAN 2/2		
SHEET NO.:		PROJECT NO.:
SHEET 17 OF 17		G-353